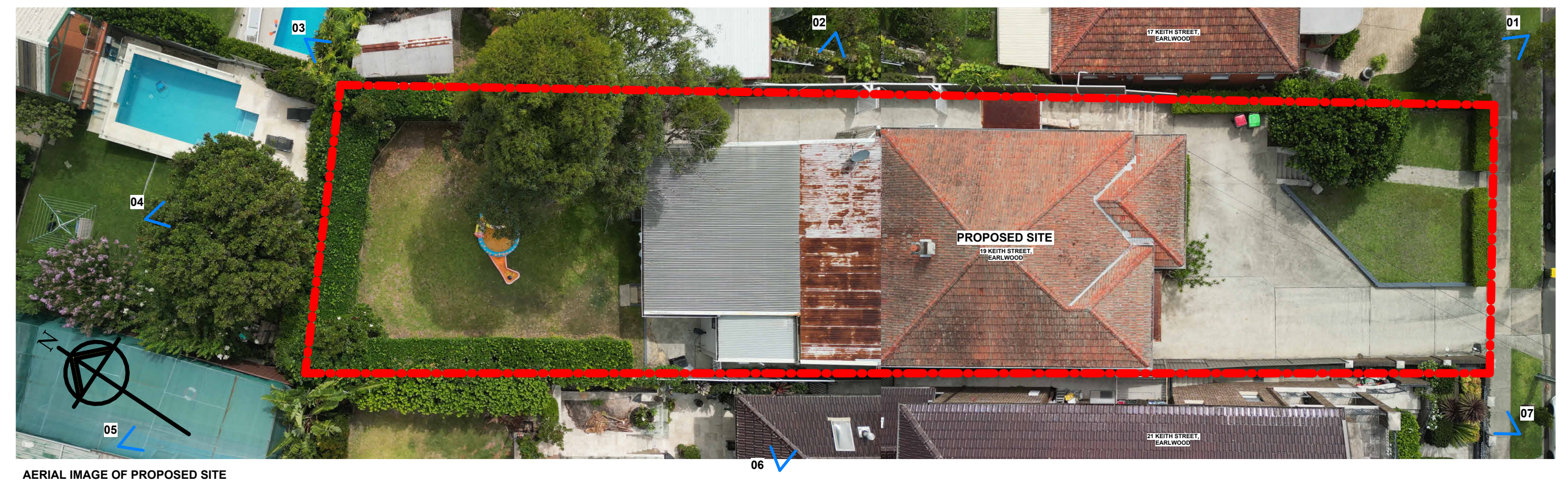


SITE ANALYSIS



LEP PLANNING MAPS



MICRO LOCATION/ SITE PHOTOGRAPHY



BROAD LOCATION

DA DRAWINGS ONLY - NOT FOR CONSTRUCTION									
Project		Drawing Name	Date	Scale	Sheet Size	Job No.	Drawing No.	North Point	<div>DO NOT SCALE FROM THESE DRAWINGS use given dimensions. Contractor/ Builder is to check all dimensions on site prior to commencement of shop drawings or fabrication. Any discrepancies are to be referred to the architect/ designer prior to commencement of work. This drawing is to be used in accordance with its "purpose of issue" only. No responsibility will be accepted for the improper use of this drawing. Architectural drawings indicate design intent only. Builder is to ensure that all construction is in accordance with all relevant Australian Standards, legislation, policies, Building Code of Australia, Development Consent and any other council or certifier's requirements. This set of drawings does not include all possible construction details and the builder is required to complete the design where the information is not available. Please contact the architect in case of doubt.</div> <div>868 ARCHITECTS PTY LTD Nom. Arc. Robert Chapman-Malec Reg. No: 9315 38A President Ave, Carlingbah, NSW, 2228 M: 0401 601 106 E: robert@868architects.com</div> <div>868 ARCHITECTS</div>
NGUYEN RESIDENCE		19 KEITH STREET, EARLWOOD	Site Analysis	15/10/2024	As indicated @ A1	2401	A01		
			Drawn SS	Chk. RPCM			Revision / DA-1		

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 24 September 2024
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project summary		
Project name	19 Keith St HEC3010	
Street address	19 KEITH STREET EARLWOOD 2206	
Local Government Area	Canterbury-Bankstown Council	
Plan type and plan number	Deposited Plan DP13500	
Lot no.	10	
Section no.	-	
Project type	dwelling house (detached)	
No. of bedrooms	5	
Project score		
Water	✔ 40	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 72	Target 72
Materials	✔ -100	Target n/a

Certificate Prepared by	
Name / Company Name: House Energy Certified	
ABN (if applicable): 81601166561	

Description of project

Project address	
Project name	19 Keith St HEC3010
Street address	19 KEITH STREET EARLWOOD 2209
Local Government Area	Canterbury-Bankstown Council
Plan type and plan number	Deposited Plan DP13500
Lot no.	10
Section no.	-
Project type	
Project type	dwelling house (detached)
No. of bedrooms	5
Site details	
Site area (m ²)	728
Roof area (m ²)	300
Conditioned floor area (m ²)	366.0
Unconditioned floor area (m ²)	33.0
Total area of garden and lawn (m ²)	211
Roof area of the existing dwelling (m ²)	0

Assessor details and thermal loads	
Assessor number	DMN18/1851
Certificate number	HR-HZALUN-01
Climate zone	56
Area adjusted cooling load (MJ/m ² /year)	14
Area adjusted heating load (MJ/m ² /year)	15
Project score	
Water	✓ 40 Target 40
Thermal Performance	✓ Pass Target Pass
Energy	✓ 72 Target 72
Materials	✓ 100 Target n/a

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 300 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development			✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
• a tap that is located within 10 metres of the swimming pool in the development		✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✓	✓	✓

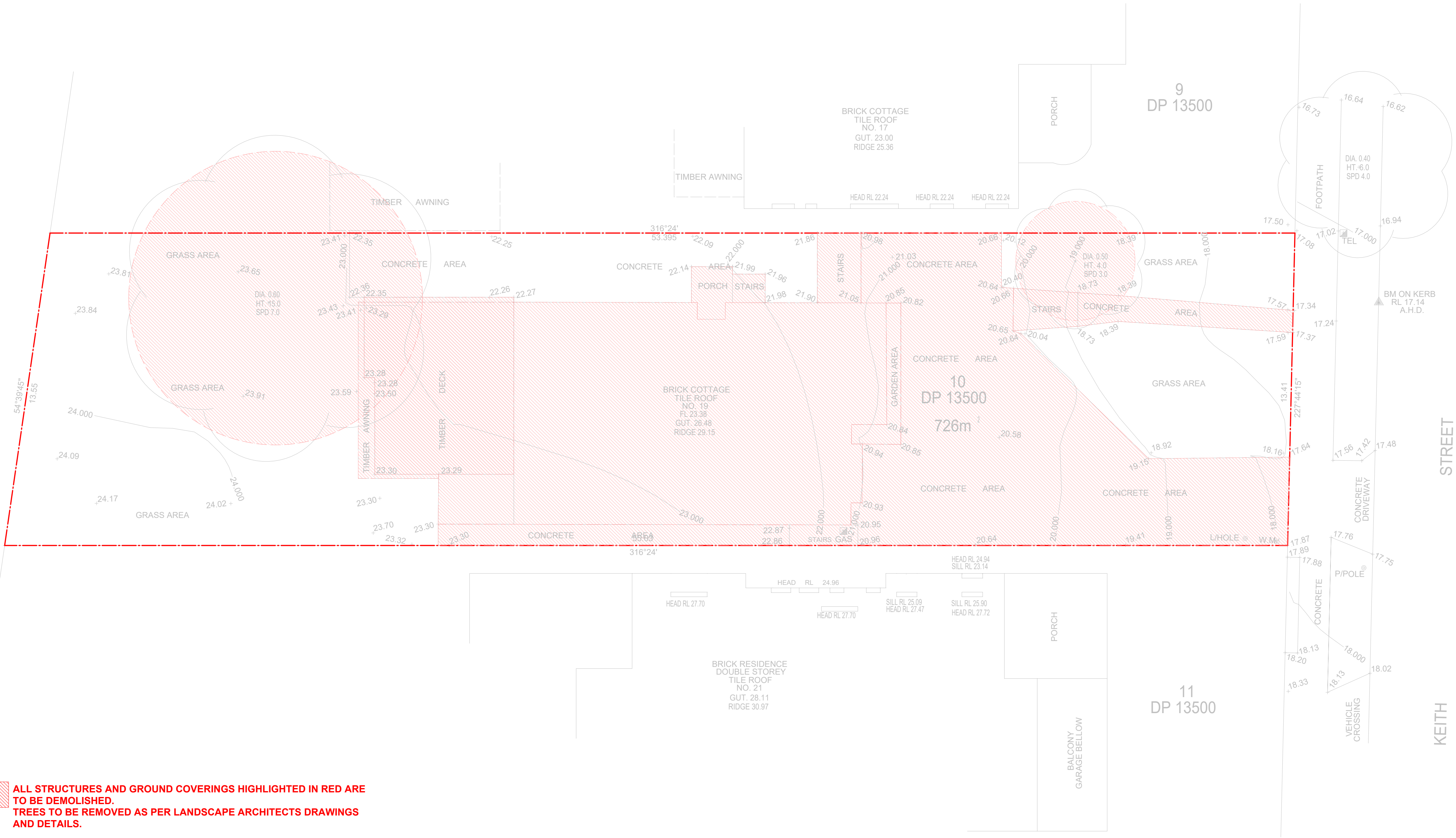
Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Construction			
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✓
Construction	Area - m²	Insulation	
floor - concrete slab on ground, conventional slab.	170	polystyrene	
floor - suspended floor above open subfloor, concrete - suspended; frame: no frame.	43	polystyrene	
floor - above habitable rooms or mezzanine, concrete - suspended; frame: no frame.	169	none	
floor - suspended floor above garage, concrete - suspended; frame: no frame.	46	polystyrene	
garage floor - concrete slab on ground.	89	none	
external wall: cavity brick; frame: no frame.	all external walls	polyurethane+ foilsarking	
external garage wall: cavity brick; frame: no frame.	67	none	
internal wall: plasterboard; frame: timber - untreated softwood.	257	none	
internal wall: single skin masonry; frame: no frame.	56	none	
ceiling and roof - flat ceiling / flat roof, concrete - plasterboard internal, no frame.	300	ceiling: fibreglass batts or roll; roof: foilsarking.	

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazing			
The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.	✓	✓	✓
Frames	Maximum area - m²		
aluminium	257		
timber	0		
UPVC	0		
steel	0		
composite	0		
Glazing	Maximum area - m²		
single	0		
double	257		
triple	0		

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): gas		✓	
The applicant must install the following pump for the swimming pool in the development, or a pump with a higher energy rating: single speed with a performance of 2 stars		✓	
The applicant must install a timer for the swimming pool pump in the development.		✓	
Outdoor spa			
The applicant must install the following heating system for the spa in the development (or alternatively must not install any heating system for the spa): gas		✓	
The applicant must install a timer for the spa pump in the development.		✓	
Alternative energy			
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
The photovoltaic system must consist of: • photovoltaic collectors with the capacity to generate at least 5.6 peak kilowatts of electricity, installed at an angle between 0 degrees and 10 degrees to the horizontal facing north east	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• a tap that is located within 10 metres of the outdoor spa in the development		✓	✓
Swimming Pool			
The swimming pool must not have a volume greater than 40 kilolitres.	✓	✓	
The swimming pool must have a pool cover.		✓	
The swimming pool must be outdoors.	✓	✓	
Outdoor Spa			
The spa must not have a volume greater than 6 kilolitres.	✓	✓	
The spa must have a spa cover.		✓	

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: 2.5 Star (old label).		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 2.5 Star (old label).		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: 2.5 Star (old label).		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 2.5 Star (old label).		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓



ALL STRUCTURES AND GROUND COVERINGS HIGHLIGHTED IN RED ARE TO BE DEMOLISHED.
TREES TO BE REMOVED AS PER LANDSCAPE ARCHITECTS DRAWINGS AND DETAILS.

DA DRAWINGS ONLY - NOT FOR CONSTRUCTION

Project	Drawing Name	Date	Scale	Sheet Size	Job No.	Drawing No.	North Point	DO NOT SCALE FROM THESE DRAWINGS use given dimensions. Contractor/ Builder is to check all dimensions on site prior to commencement of shop drawings or fabrication. Any discrepancies are to be referred to the architect/ designer prior to commencement of work. This drawing is to be used in accordance with its "purpose of issue" only. No responsibility will be accepted for the improper use of this drawing. Architectural drawings indicate design intent only. Builder is to ensure that all construction is in accordance with all relevant Australian Standards, legislation, policies, Building Code of Australia, Development Consent and any other council or certifier's requirements. This set of drawings does not include all possible construction details and the builder is required to complete the design where the information is not available. Please contact the architect in case of doubt.	868 ARCHITECTS PTY LTD Nom. Arc. Robert Chapman-Malec Reg. No: 9315 38A President Ave, Caringbah, NSW, 2228 M: 0401 601 106 E: robert@868architects.com	868 ARCHITECTS
NGUYEN RESIDENCE	19 KEITH STREET, EARLWOOD	15/10/2024	1 : 100	@ A1	2401	A04				
		Drawn SS	Chk. RPCM			Revision / DA-1				

DWELLING FACADE - FRONT

ARTIST IMPRESSION

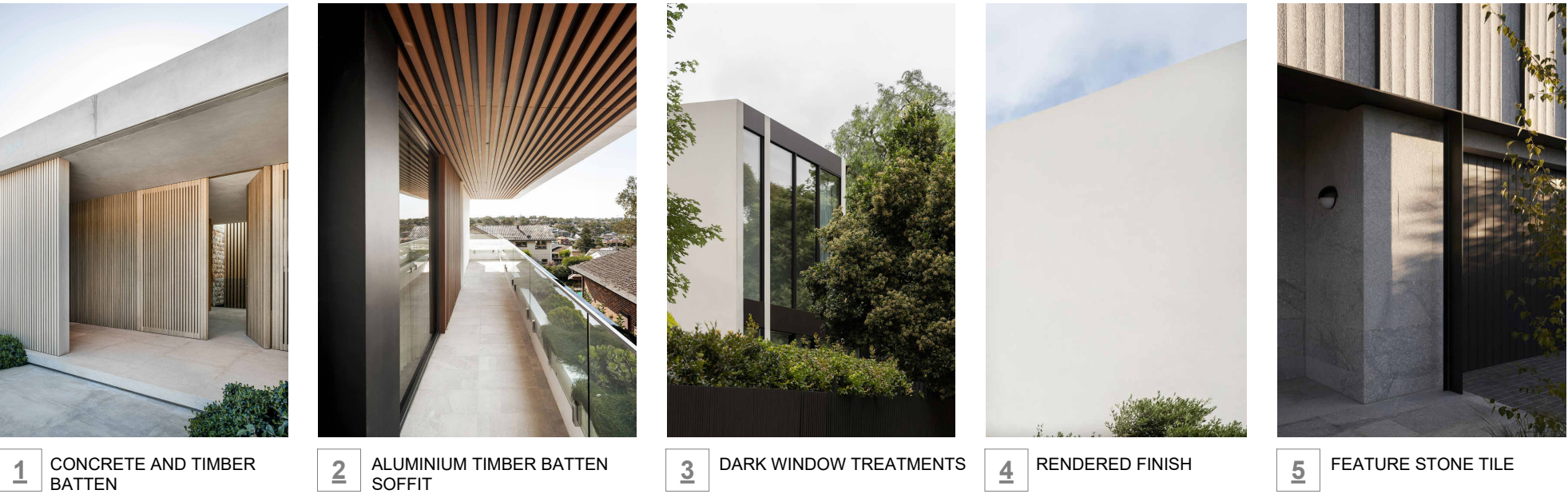


DWELLING FACADE - REAR

ARTIST IMPRESSION



EXTERNAL FINISHES REFERENCES



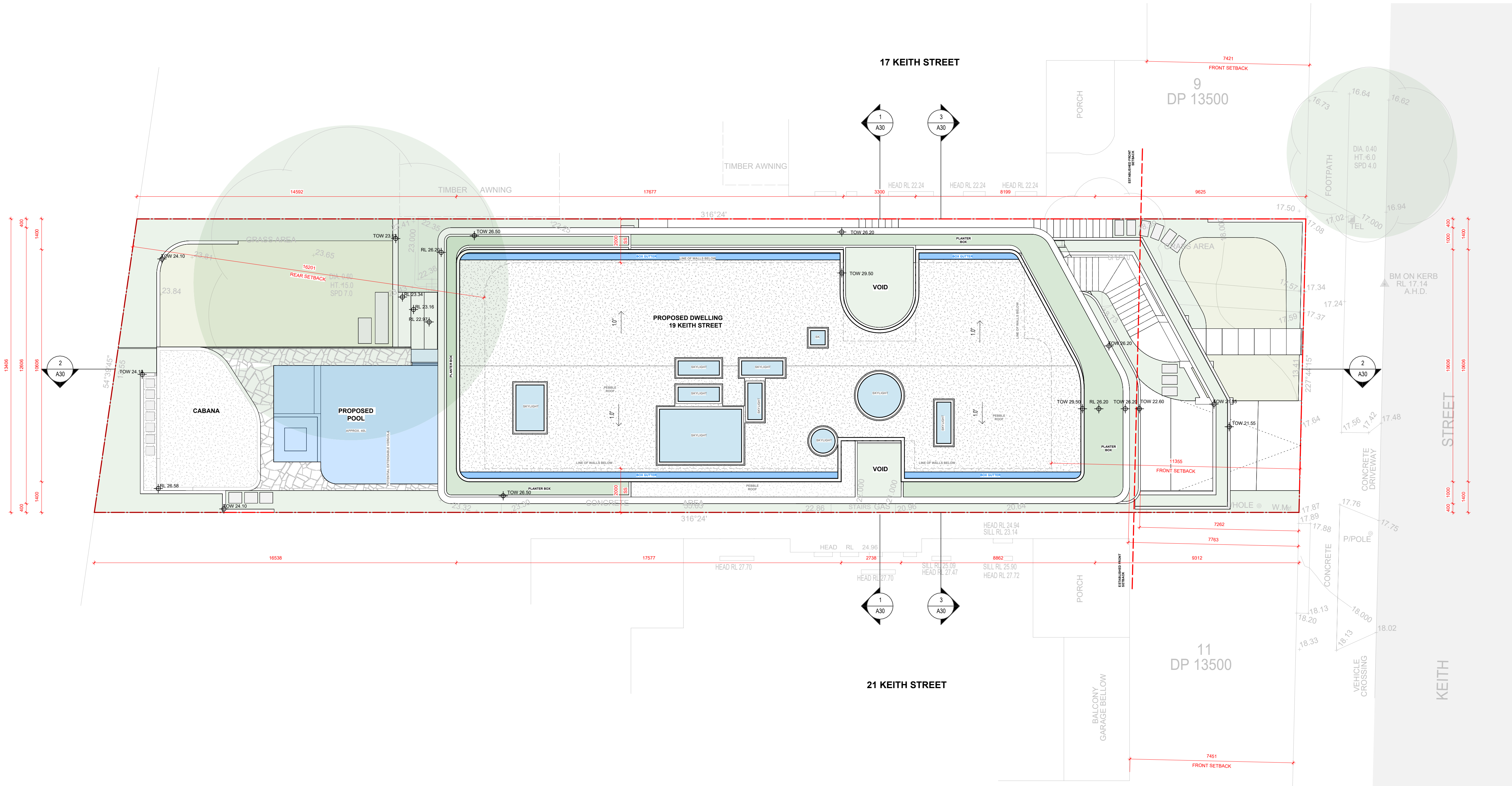
1 CONCRETE AND TIMBER BATTEN

2 ALUMINIUM TIMBER BATTEN SOFFIT

3 DARK WINDOW TREATMENTS

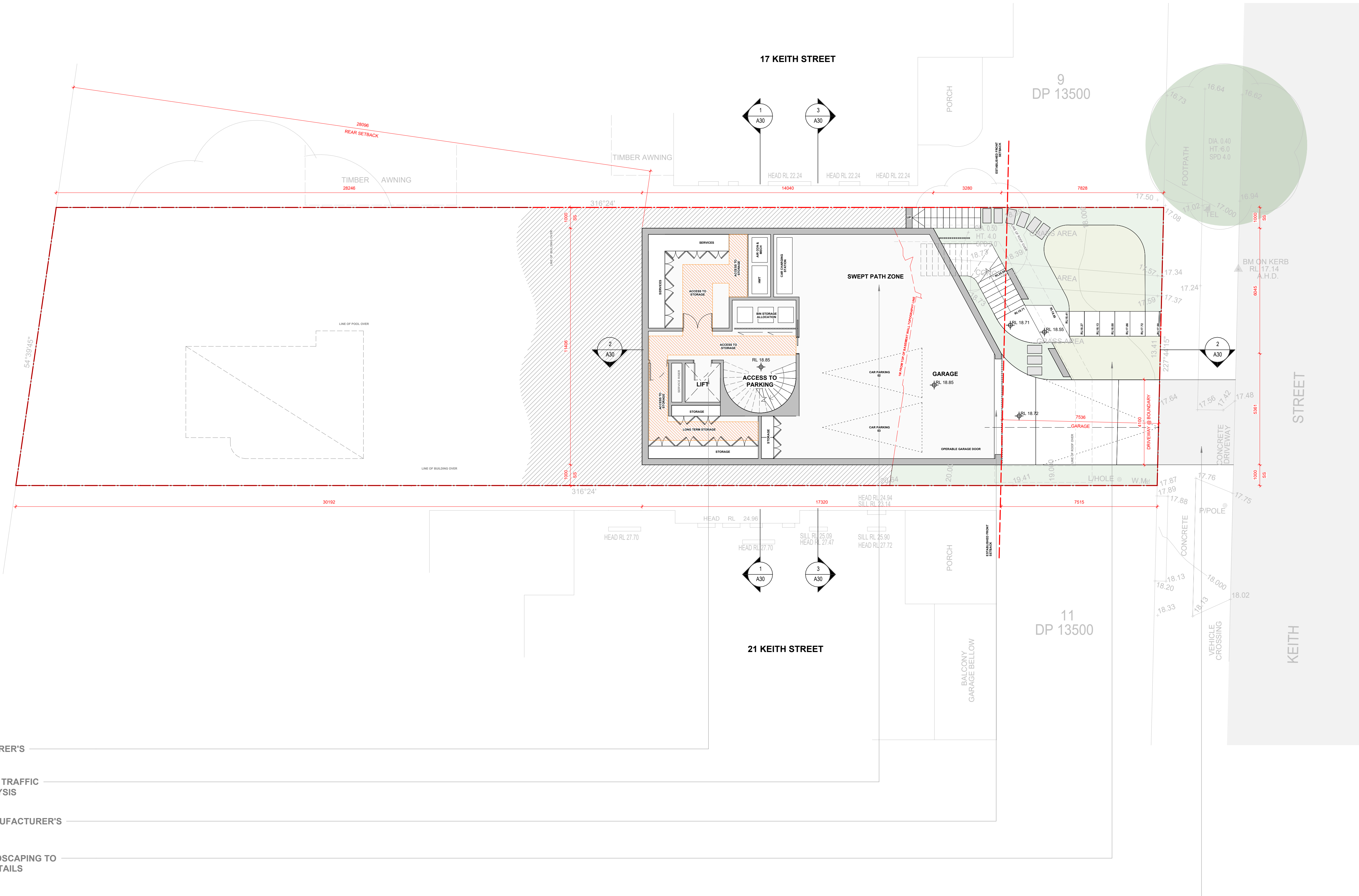
4 RENDERED FINISH

5 FEATURE STONE TILE



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NGUYEN RESIDENCE	19 KEITH STREET, EARLWOOD	15/10/2024	1 : 100	@ A1	2401	A10				
Drawn SS	Site & Roof Plan	Chk. RPCM				Revision / DA-1				



SELECTED COMMERCIAL LIFT TO MANUFACTURER'S SPECIFICATIONS

DRIVEWAY AND BASEMENT ACCESSIBILITY TO TRAFFIC ENGINEERS' DETAILS AND SWEPT PATH ANALYSIS

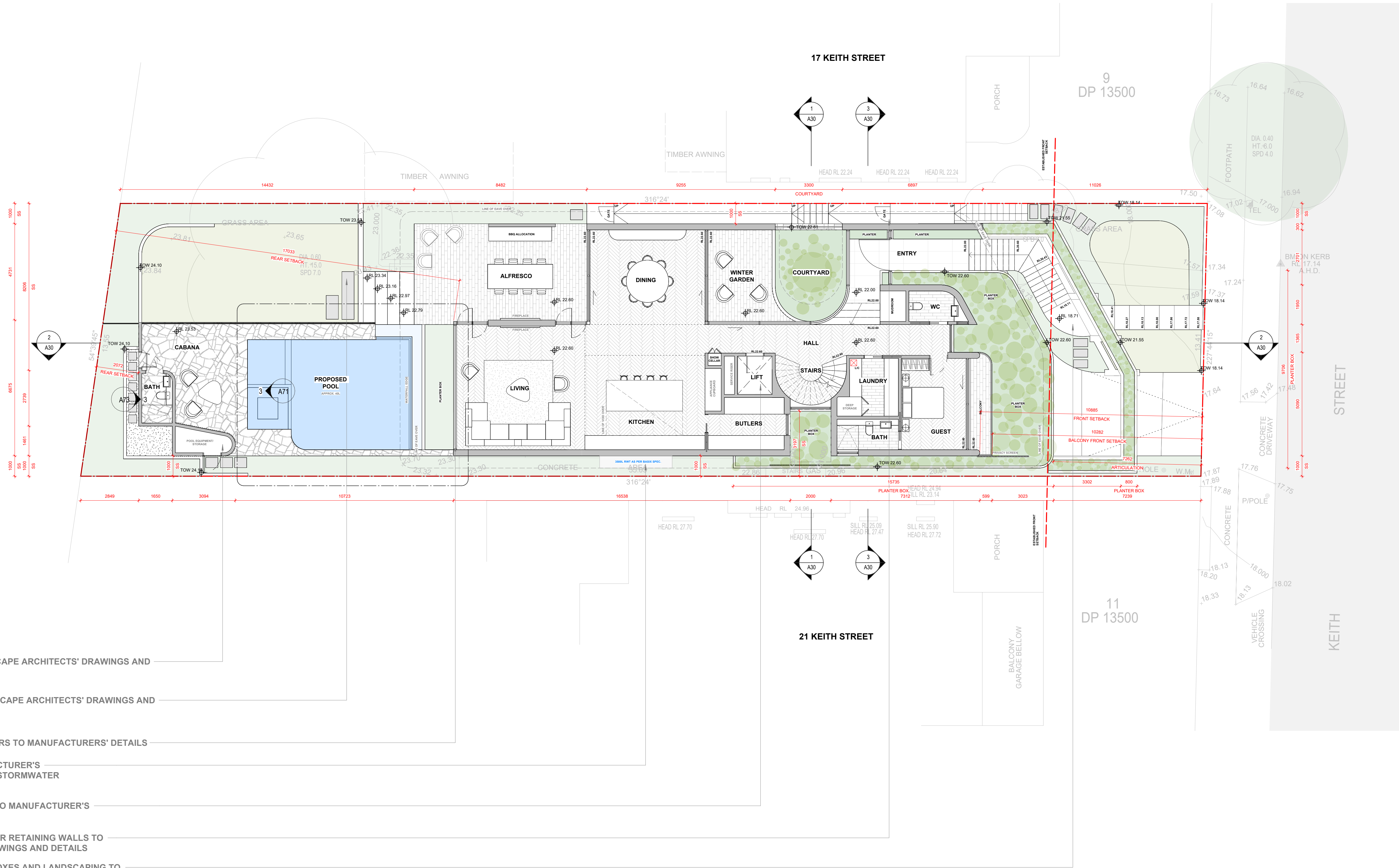
SELECTED OPERABLE GARAGE DOOR TO MANUFACTURER'S SPECIFICATIONS

FRONT STEPPERS, PLANTER BOXES AND LANDSCAPING TO LANDSCAPE ARCHITECTS' DRAWINGS AND DETAILS

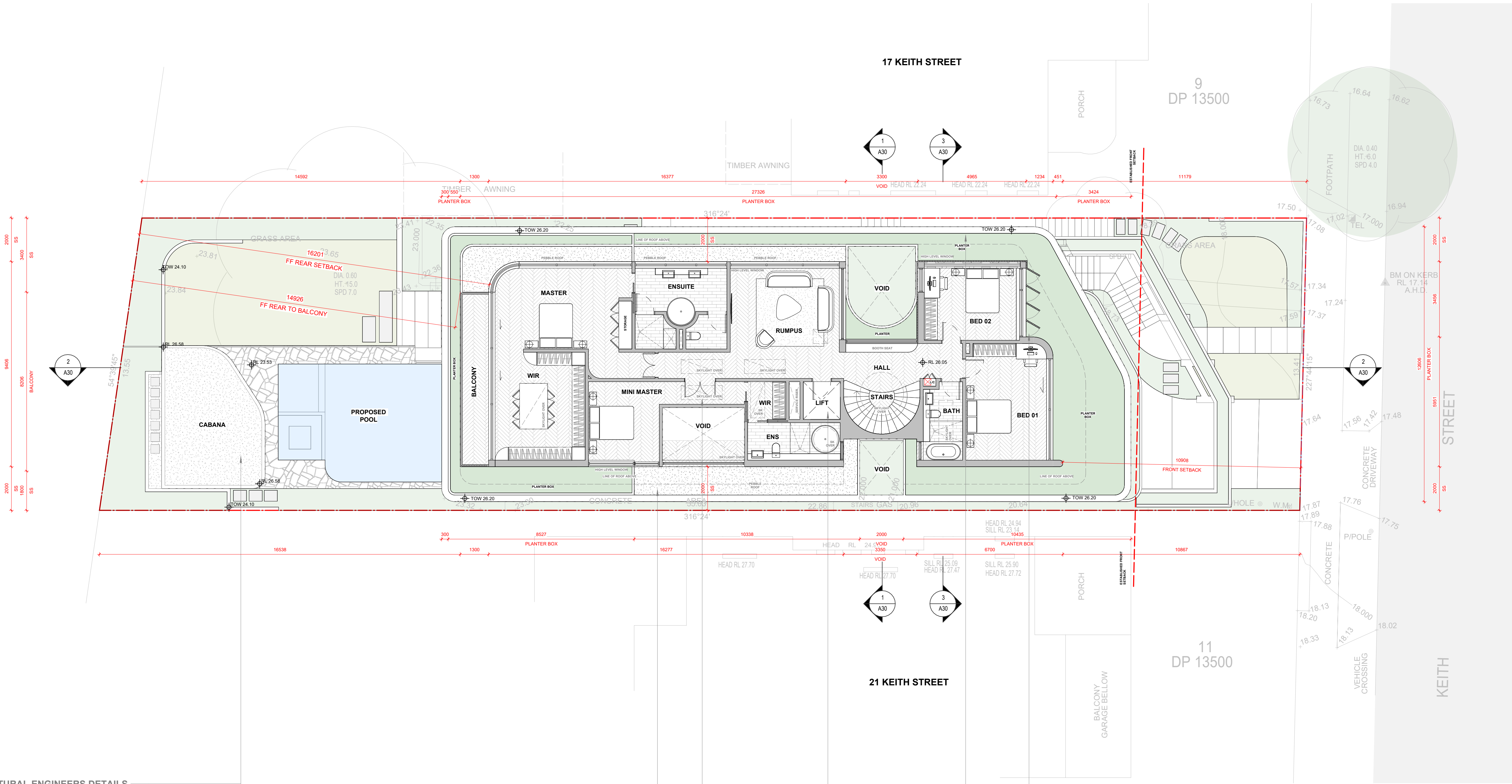
PROPOSED DRIVEWAY CROSSOVER

DA DRAWINGS ONLY - NOT FOR CONSTRUCTION

Project	Drawing Name	Date	Scale	Sheet Size	Job No.	Drawing No.	North Point	DO NOT SCALE FROM THESE DRAWINGS use given dimensions. Contractor/ Builder is to check all dimensions on site prior to commencement of shop drawings or fabrication. Any discrepancies are to be referred to the architect/ designer prior to commencement of work. This drawing is to be used in accordance with its "purpose of issue" only. No responsibility will be accepted for the improper use of this drawing. Architectural drawings indicate design intent only. Builder is to ensure that all construction is in accordance with all relevant Australian Standards, legislation, policies, Building Code of Australia, Development Consent and any other council or certifier's requirements. This set of drawings does not include all possible construction details and the builder is required to complete the design where the information is not available. Please contact the architect in case of doubt.	868 ARCHITECTS PTY LTD Nom. Arc. Robert Chapman-Malec Reg. No: 9315 38A President Ave, Caringbah, NSW, 2228 M: 0401 601 106 E: robert@868architects.com	868 ARCHITECTS
NGUYEN RESIDENCE	Basement Floor Plan	15/10/2024	1 : 100	@ A1	2401	A11				
19 KEITH STREET, EARLWOOD		Drawn SS	Chk. RPCM			Revision / DA-1				



- CABANA AND POOL TO LANDSCAPE ARCHITECTS' DRAWINGS AND DETAILS
- REAR LANDSCAPING TO LANDSCAPE ARCHITECTS' DRAWINGS AND DETAILS
- SELECTED WINDOWS AND DOORS TO MANUFACTURERS' DETAILS
- RAINWATER TANK TO MANUFACTURER'S SPECIFICATIONS. SIZE AS PER STORMWATER ENGINEERS' DETAILS
- SELECTED COMMERCIAL LIFT TO MANUFACTURER'S SPECIFICATIONS
- SIDE ACCESSWAY AND PLANTER RETAINING WALLS TO LANDSCAPE ARCHITECTS' DRAWINGS AND DETAILS
- FRONT STEPPERS, PLANTER BOXES AND LANDSCAPING TO LANDSCAPE ARCHITECTS' DRAWINGS AND DETAILS



CONCRETE ROOF TO STRUCTURAL ENGINEERS DETAILS

CONCRETE ROOF WITH PEBBLES TO STRUCTURAL ENGINEERS DETAILS

SKYLIGHTS TO MANUFACTURER'S SPECIFICATIONS. GLAZING AS PER BASIX COMMITMENTS

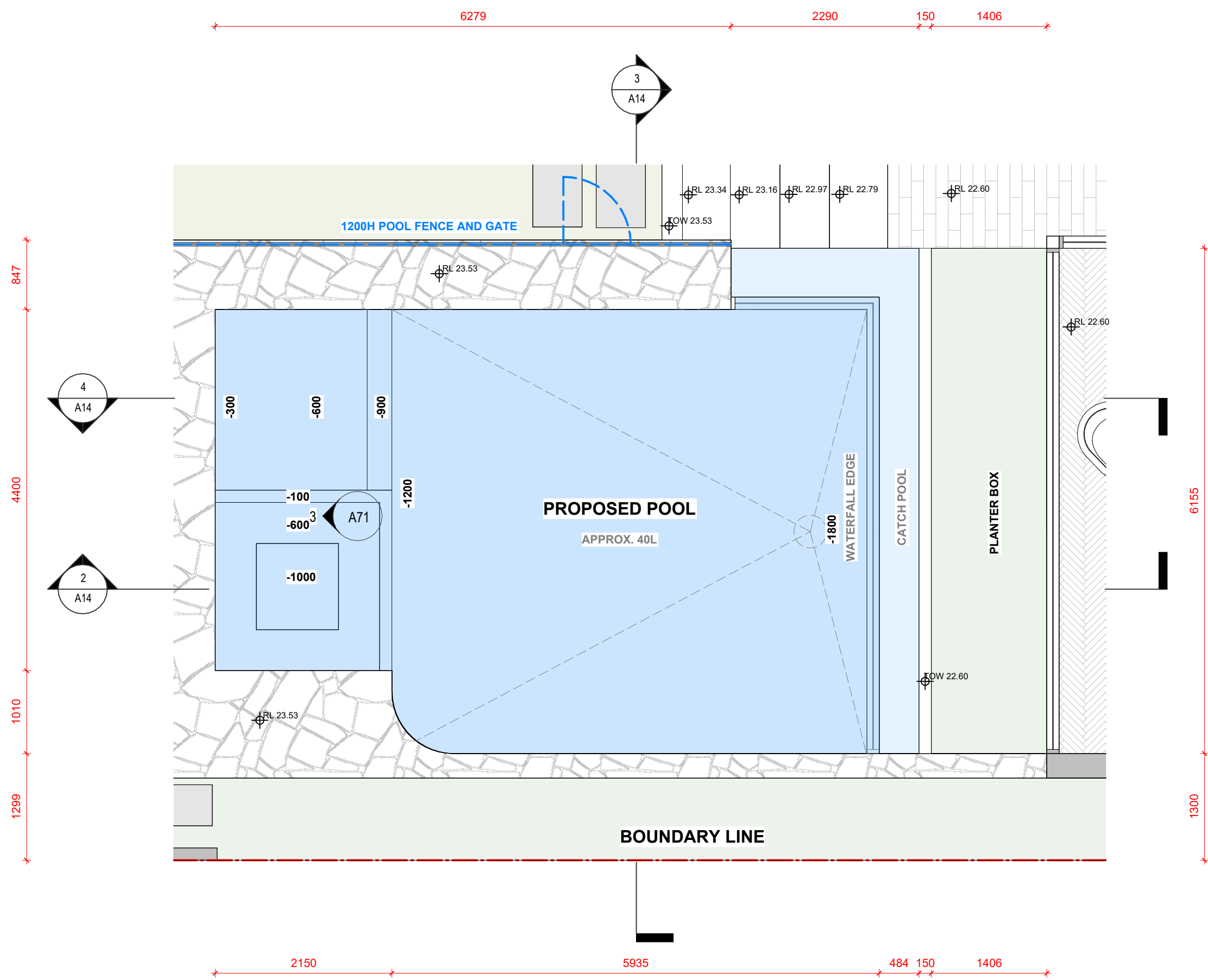
SELECTED COMMERCIAL LIFT TO MANUFACTURER'S SPECIFICATIONS

PLANTER BOXES TO LANDSCAPE ARCHITECTS' DRAWINGS AND DETAILS

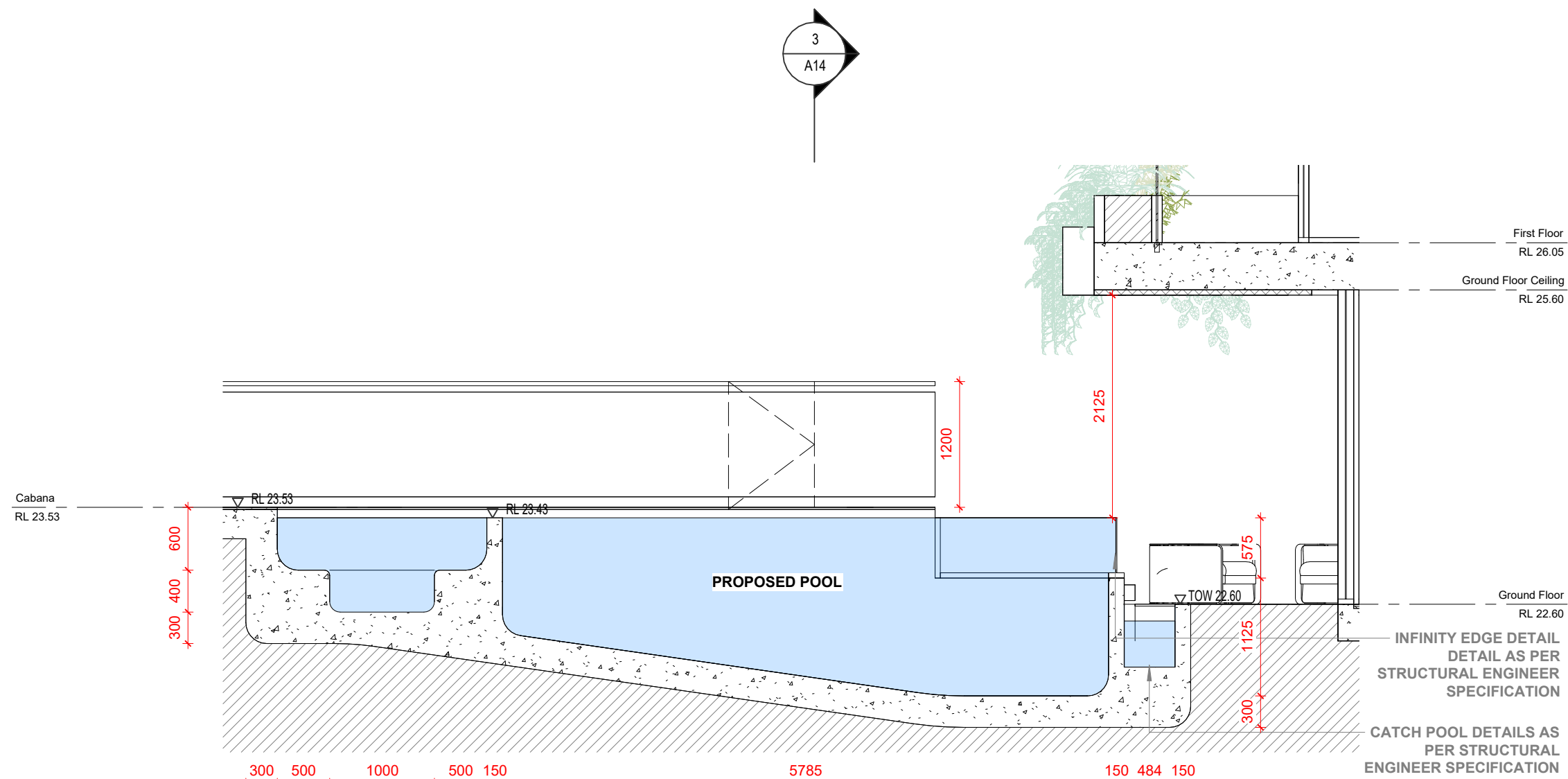
ALUMINIUM TIMBER LOOK BATTENS OR SIMILAR TO MANUFACTURER'S SPECIFICATIONS

DA DRAWINGS ONLY - NOT FOR CONSTRUCTION

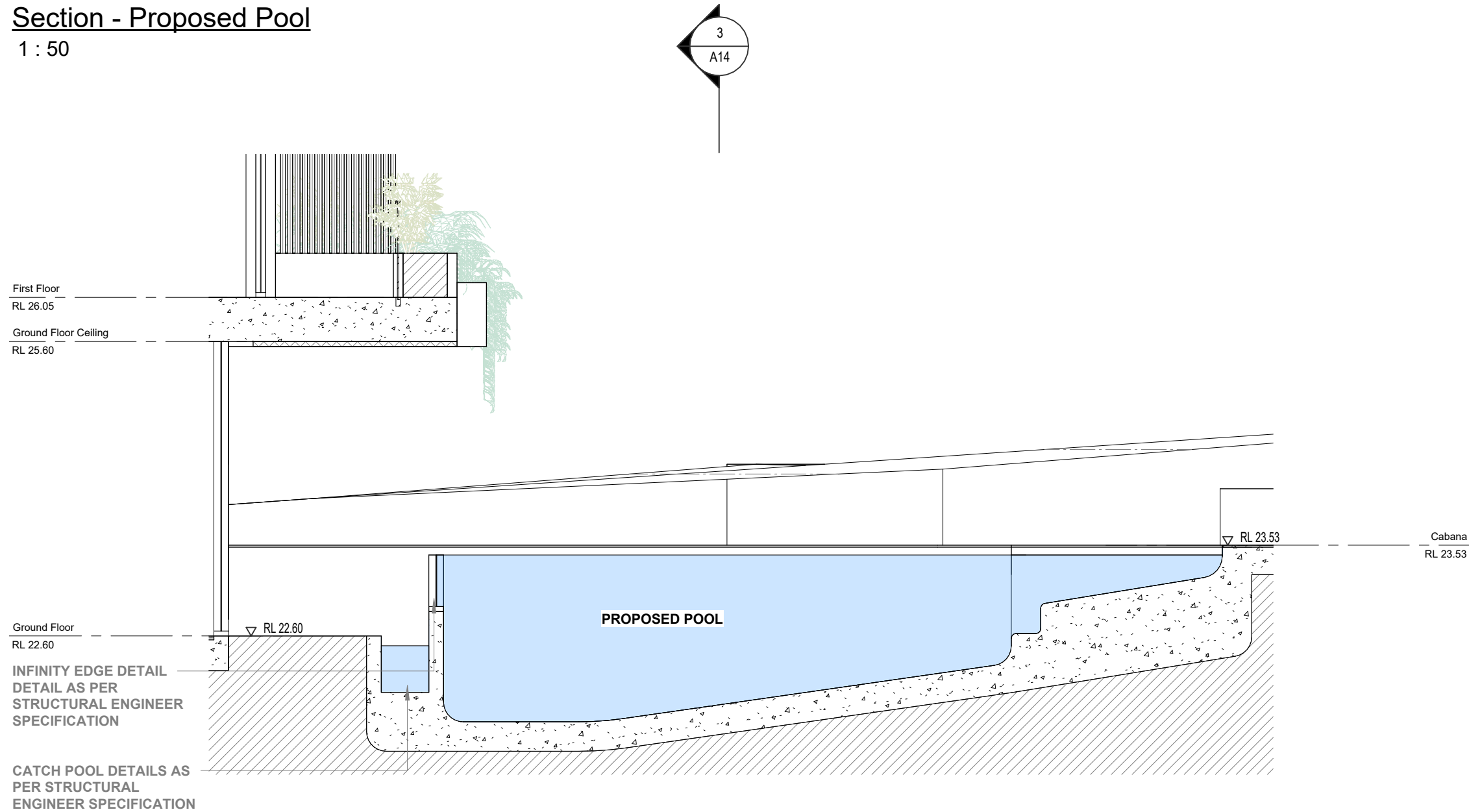
Project		Drawing Name	Date	Scale	Sheet Size	Job No.	Drawing No.	North Point	
NGUYEN RESIDENCE	19 KEITH STREET, EARLWOOD	First Floor Plan	15/10/2024	1 : 100	@ A1	2401	A13		DO NOT SCALE FROM THESE DRAWINGS use given dimensions. Contractor/ Builder is to check all dimensions on site prior to commencement of shop drawings or fabrication. Any discrepancies are to be referred to the architect/ designer prior to commencement of work. This drawing is to be used in accordance with its "purpose of issue" only. No responsibility will be accepted for the improper use of this drawing. Architectural drawings indicate design intent only. Builder is to ensure that all construction is in accordance with all relevant Australian Standards, legislation, policies, Building Code of Australia, Development Consent and any other council or certifier's requirements. This set of drawings does not include all possible construction details and the builder is required to complete the design where the information is not available. Please contact the architect in case of doubt.
			Drawn SS	Chk. RPCM		Revision / DA-1			
								868 ARCHITECTS PTY LTD Nom. Arc. Robert Chapman-Malec Reg. No: 9315 38A President Ave, Caringbah, NSW, 2228 M: 0401 601 106 E: robert@868architects.com	
								868 ARCHITECTS	



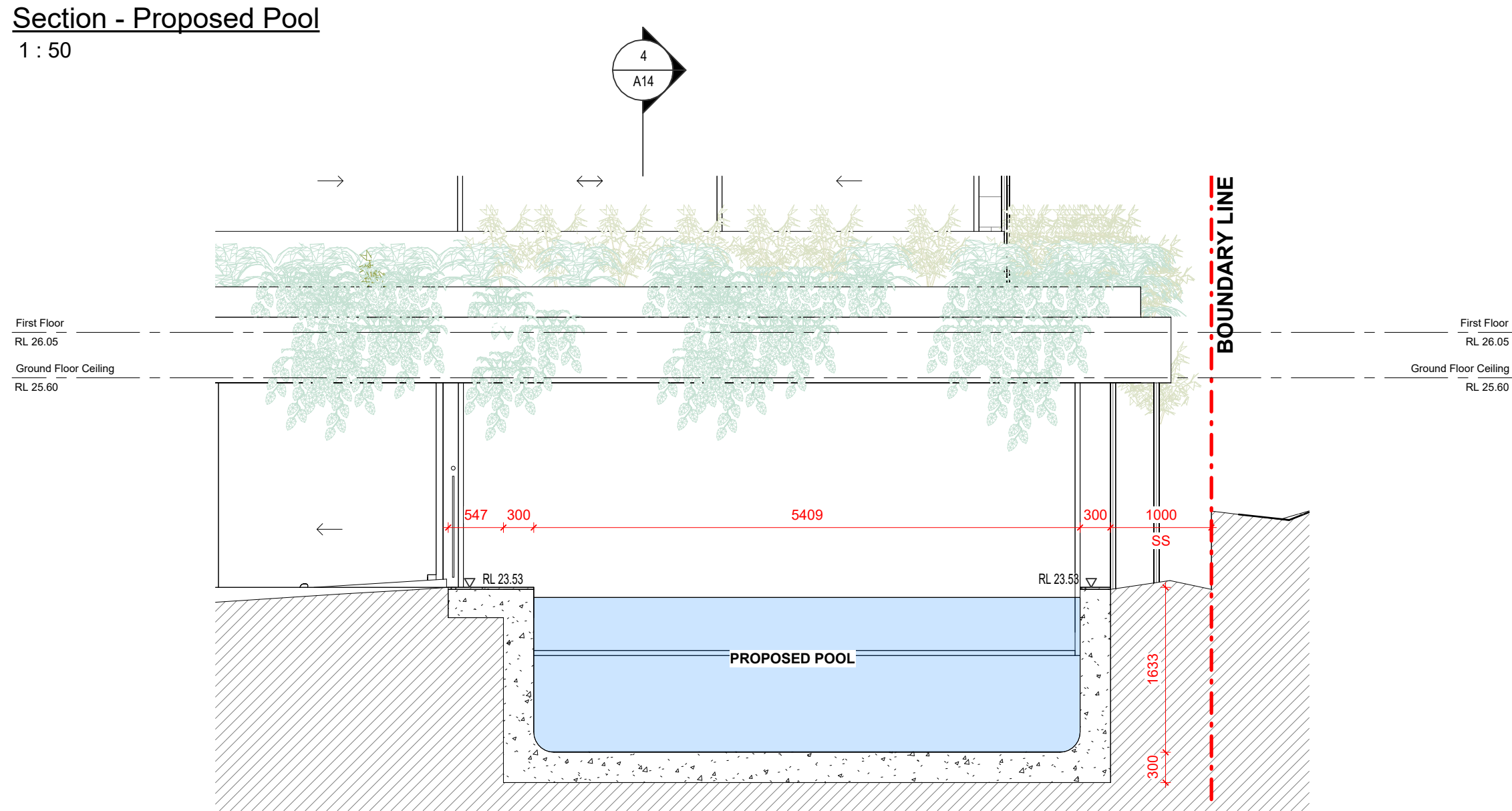
Proposed Pool Floor Plan
1 : 50



Section - Proposed Pool
1 : 50



Section - Proposed Pool
1 : 50



Section - Proposed Pool
1 : 50

NOTE: ALL FENCES TO COMPLY WITH
AS1926 - SWIMMING POOL SAFETY
STANDARDS AND THE SWIMMING POOLS
ACT

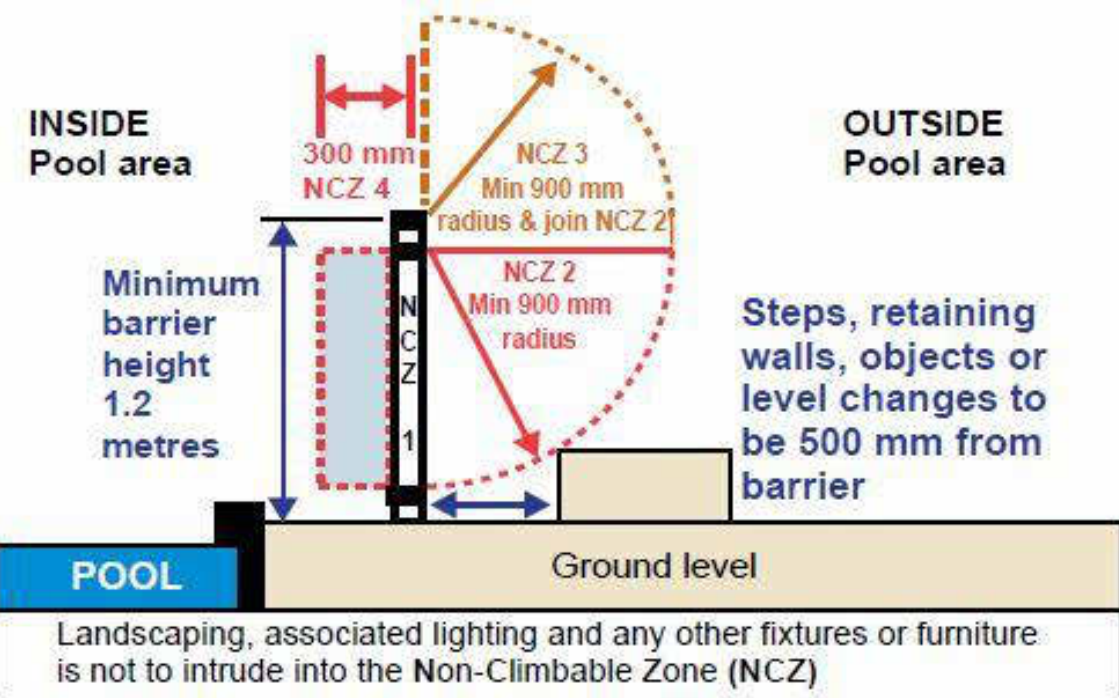
POOL FENCE
ENSURE POOL FENCE IS MINIMAL OF
1200MM HIGH (MEASURED OUTSIDE POOL
AREA)

ENSURE MAXIMUM 100MM GAP UNDER
POOL FENCE

ENSURE A WARNING/RESUSITATION SIGN IS
DISPLAYED IN ACCORDANCE WITH THE
SWIMMING POOLS ACT

ENSURE MAXIMUM 100MM GAP IN BARRIER
COMPONENTS (ALLOWING FOR ANY FLEX IN
THE COMPONENTS)

Internal Fence Barrier Section



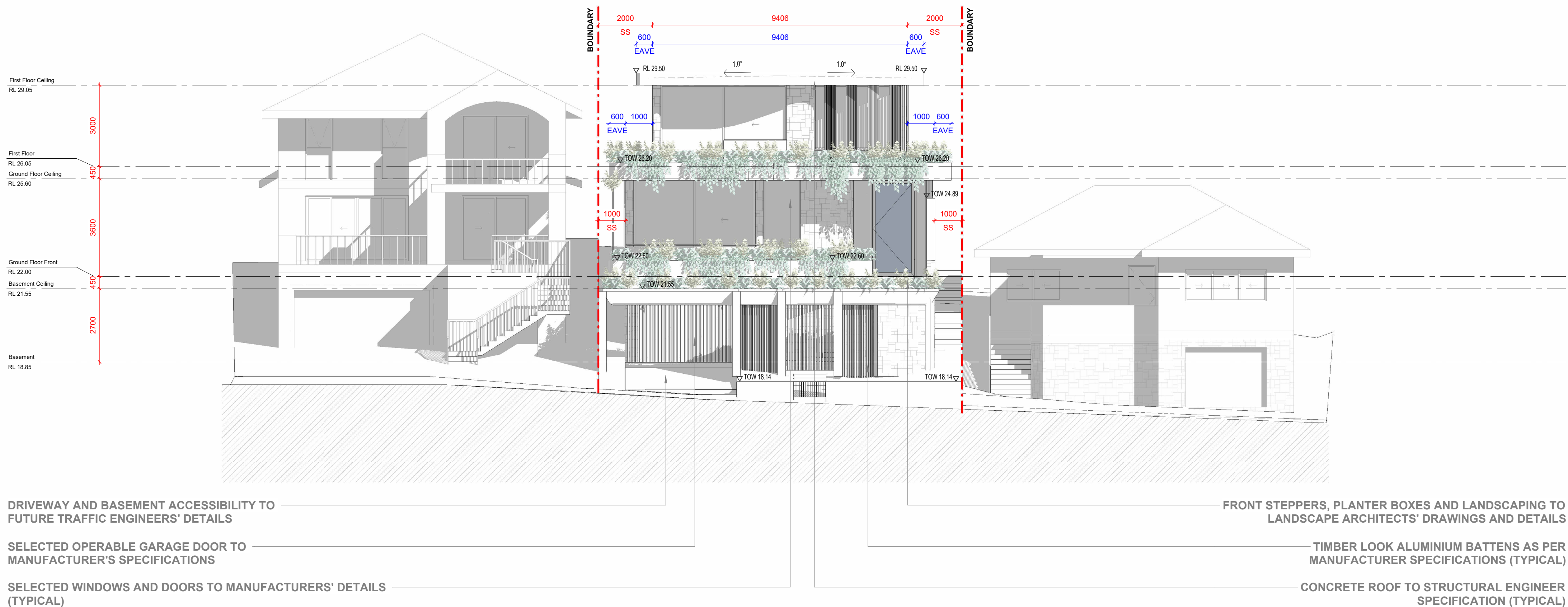
DA DRAWINGS ONLY - NOT FOR CONSTRUCTION

Project	Drawing Name	Date	Scale	Sheet Size	Job No.	Drawing No.	North Point	DO NOT SCALE FROM THESE DRAWINGS use given dimensions. Contractor/ Builder is to check all dimensions on site prior to commencement of shop drawings or fabrication. Any discrepancies are to be referred to the architect/ designer prior to commencement of work. This drawing is to be used in accordance with its "purpose of issue" only. No responsibility will be accepted for the improper use of this drawing. Architectural drawings indicate design intent only. Builder is to ensure that all construction is in accordance with all relevant Australian Standards, legislation, policies, Building Code of Australia, Development Consent and any other council or certifier's requirements. This set of drawings does not include all possible construction details and the builder is required to complete the design where the information is not available. Please contact the architect in case of doubt.
NGUYEN RESIDENCE	Proposed Pool Plan	15/10/2024	1 : 50	@ A1	2401	A14		868 ARCHITECTS PTY LTD Nom. Arc. Robert Chapman-Malec Reg. No: 9315 38A President Ave, Caringbah, NSW, 2228 M: 0401 601 106 E: robert@868architects.com
19 KEITH STREET, EARLWOOD		Drawn SS	Chk. RPCM			Revision / DA-1		868 ARCHITECTS

21 KEITH ROAD
DOUBLE STOREY DWELLING

19 KEITH ROAD

17 KEITH ROAD
SINGLE STOREY DWELLING

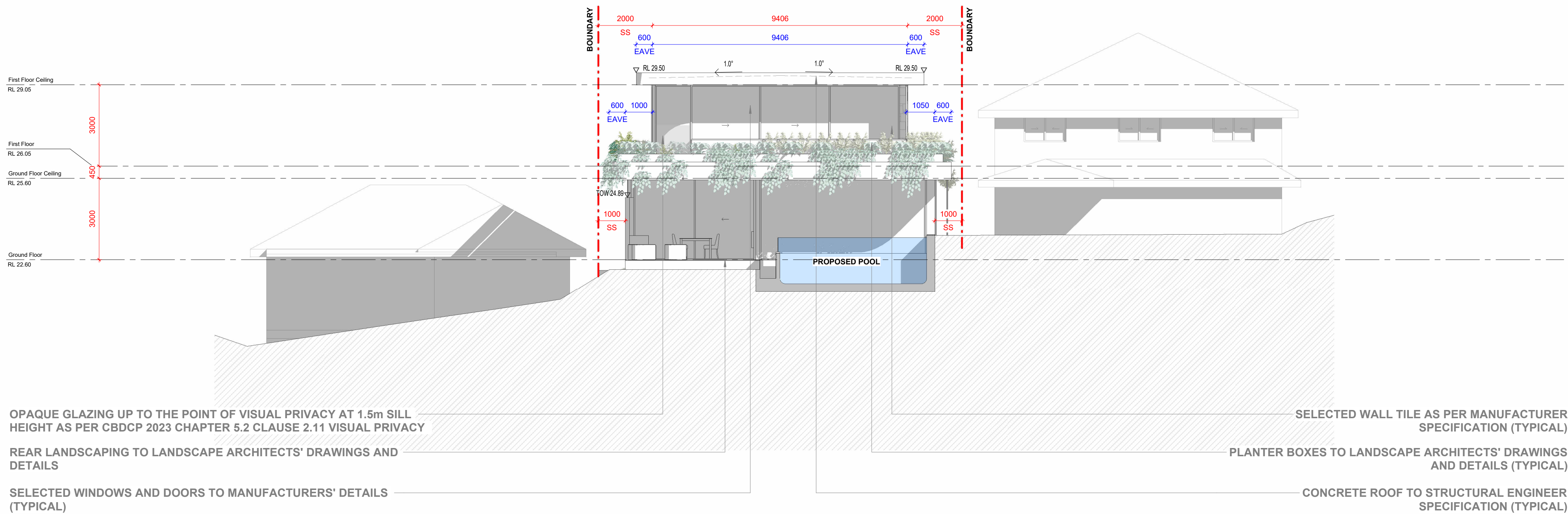


1 : 100

17 KEITH ROAD
SINGLE STOREY DWELLING

19 KEITH ROAD

21 KEITH ROAD



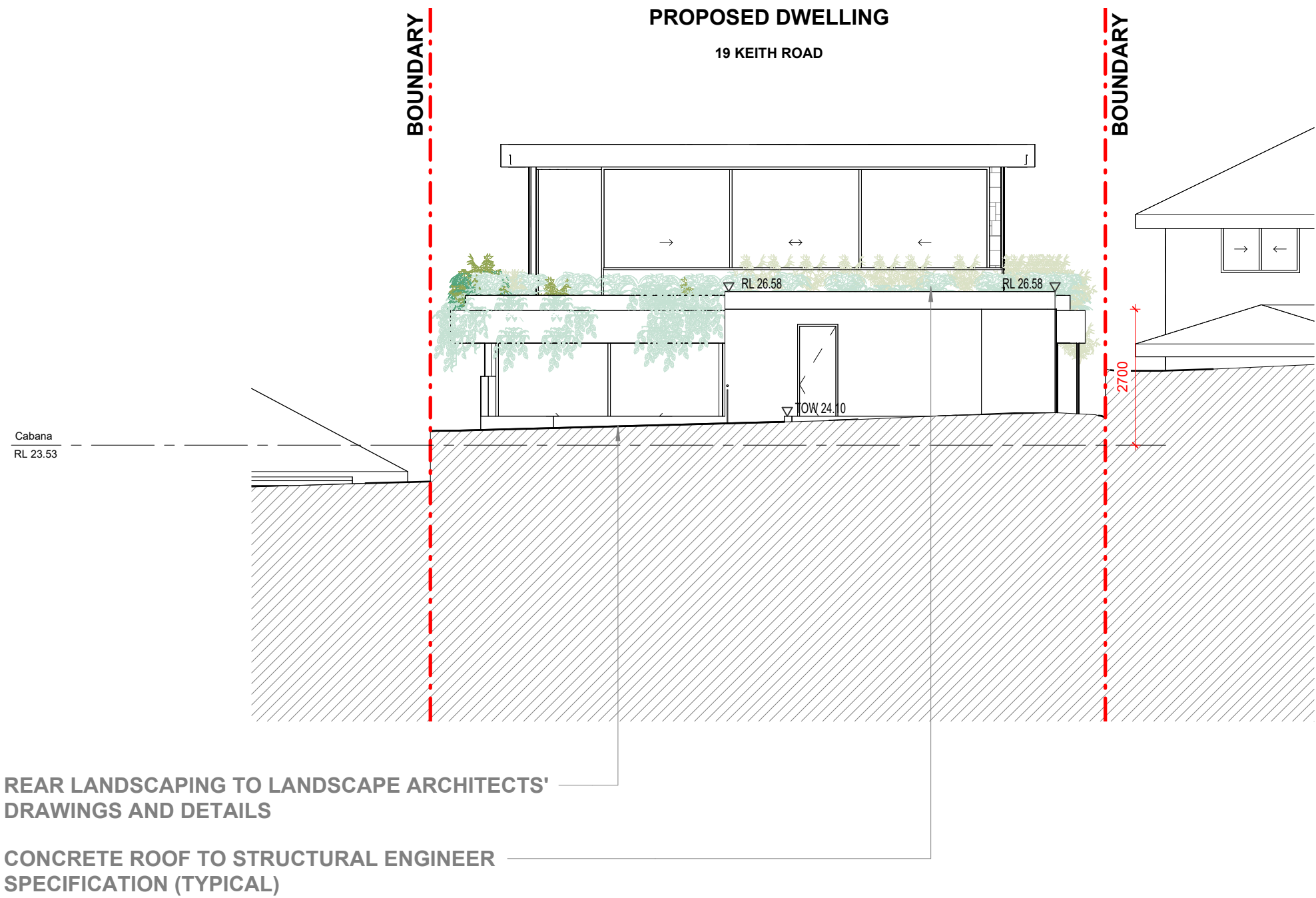
1 : 100

19 KEITH ROAD

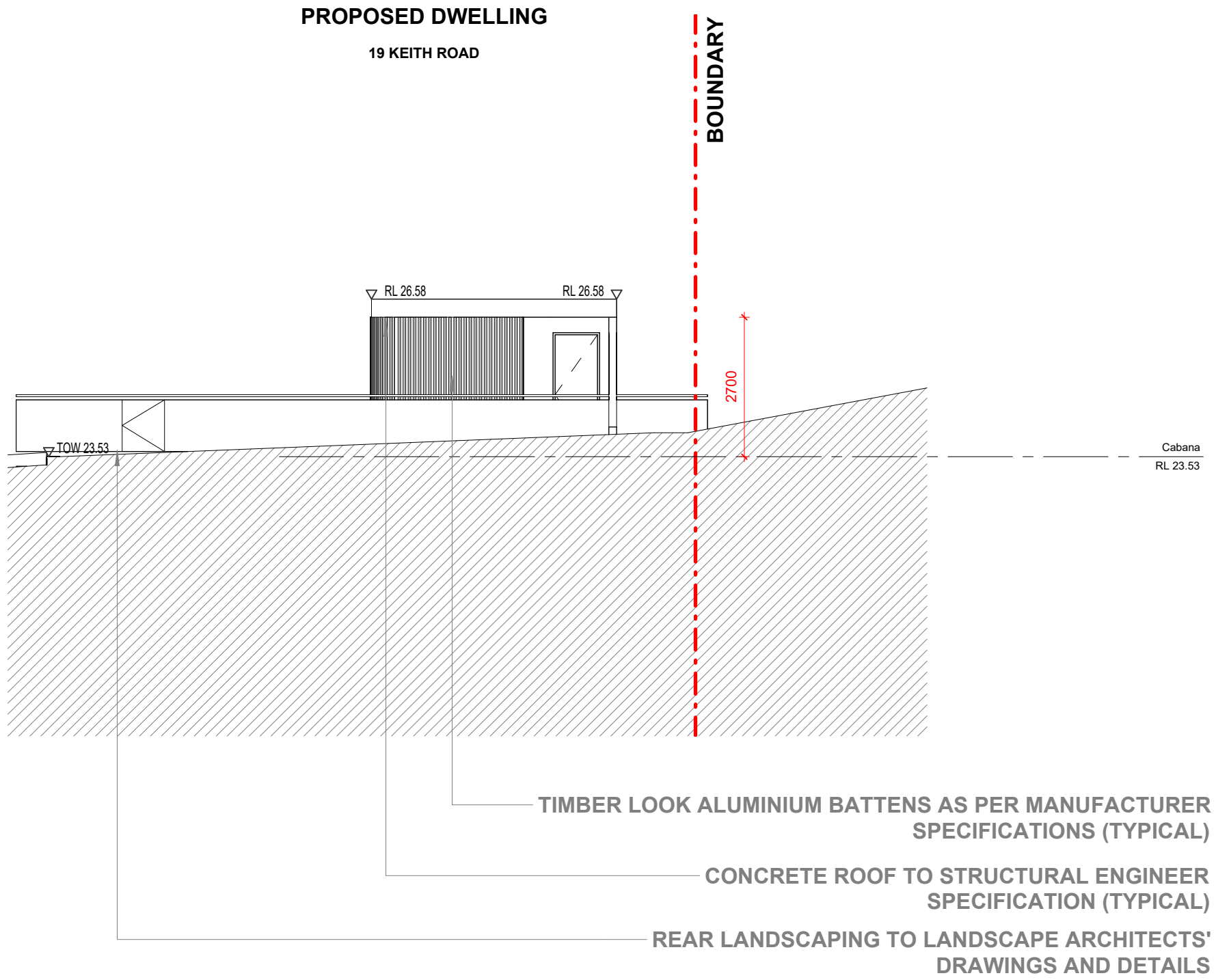


19 KEITH ROAD

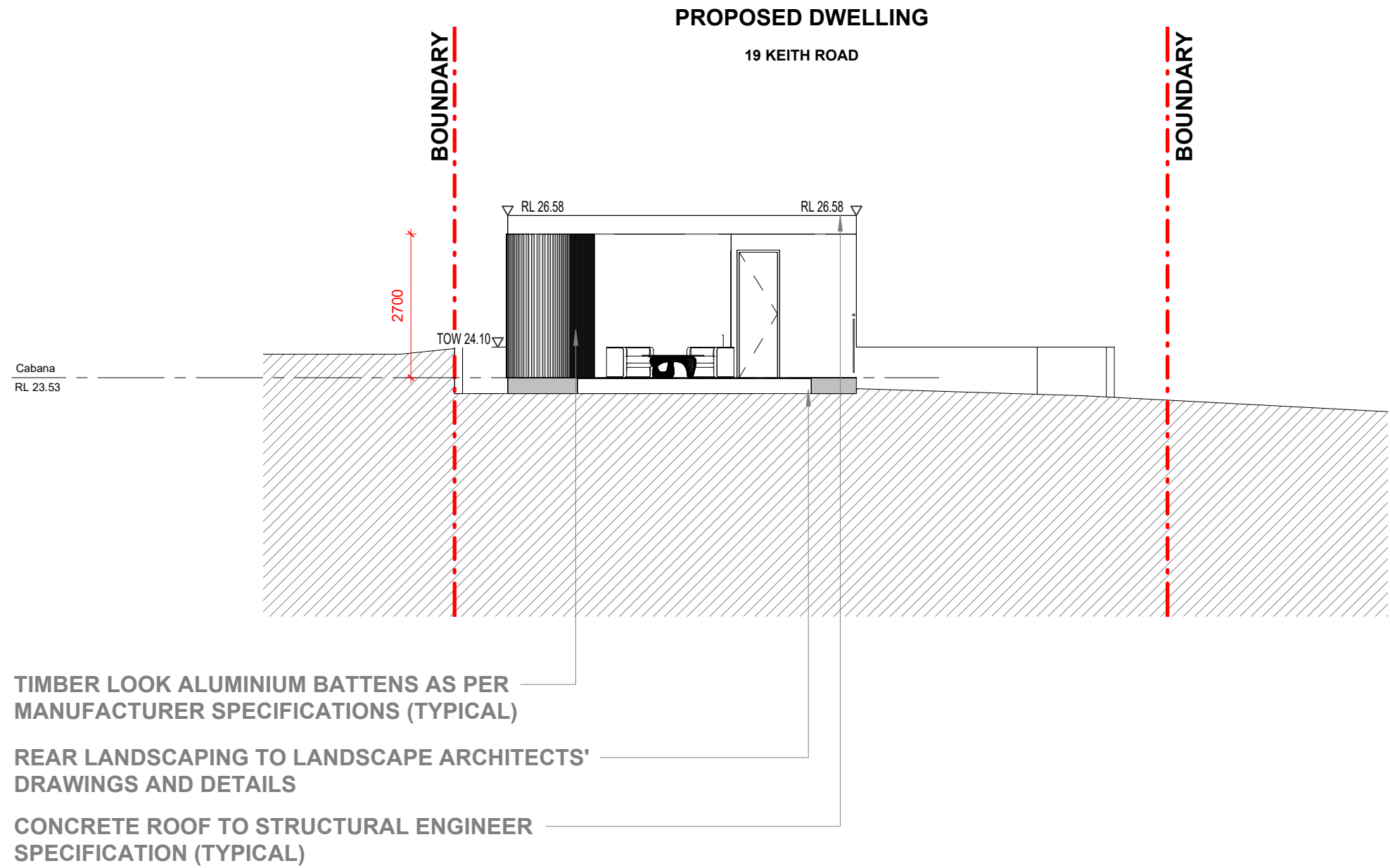




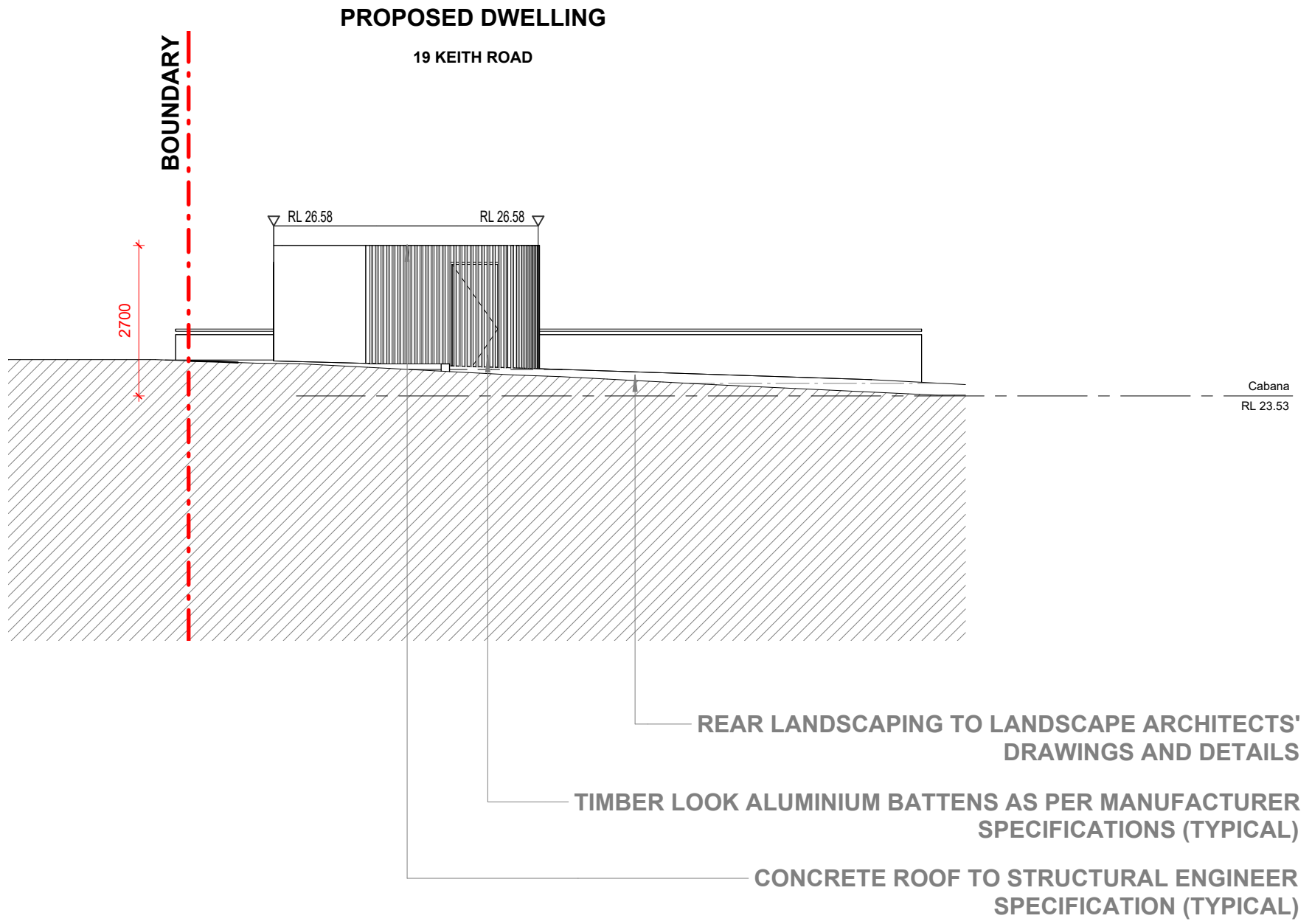
Elevation - Cabana - North-West
1 : 100



Elevation - Cabana - North-East
1 : 100



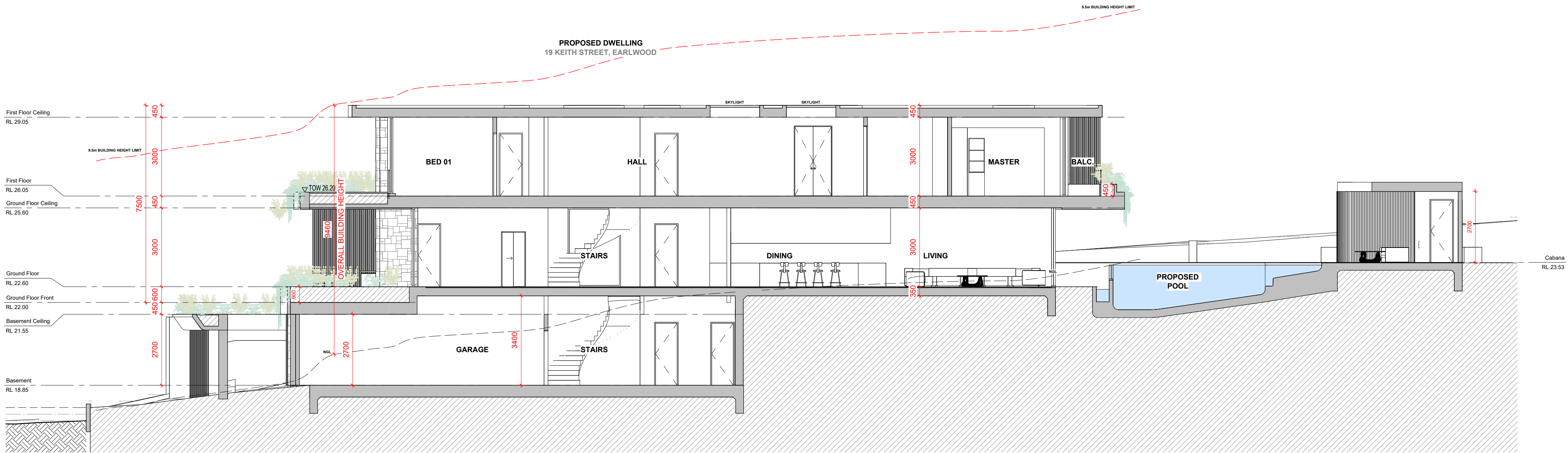
Elevation - Cabana - South-East
1 : 100



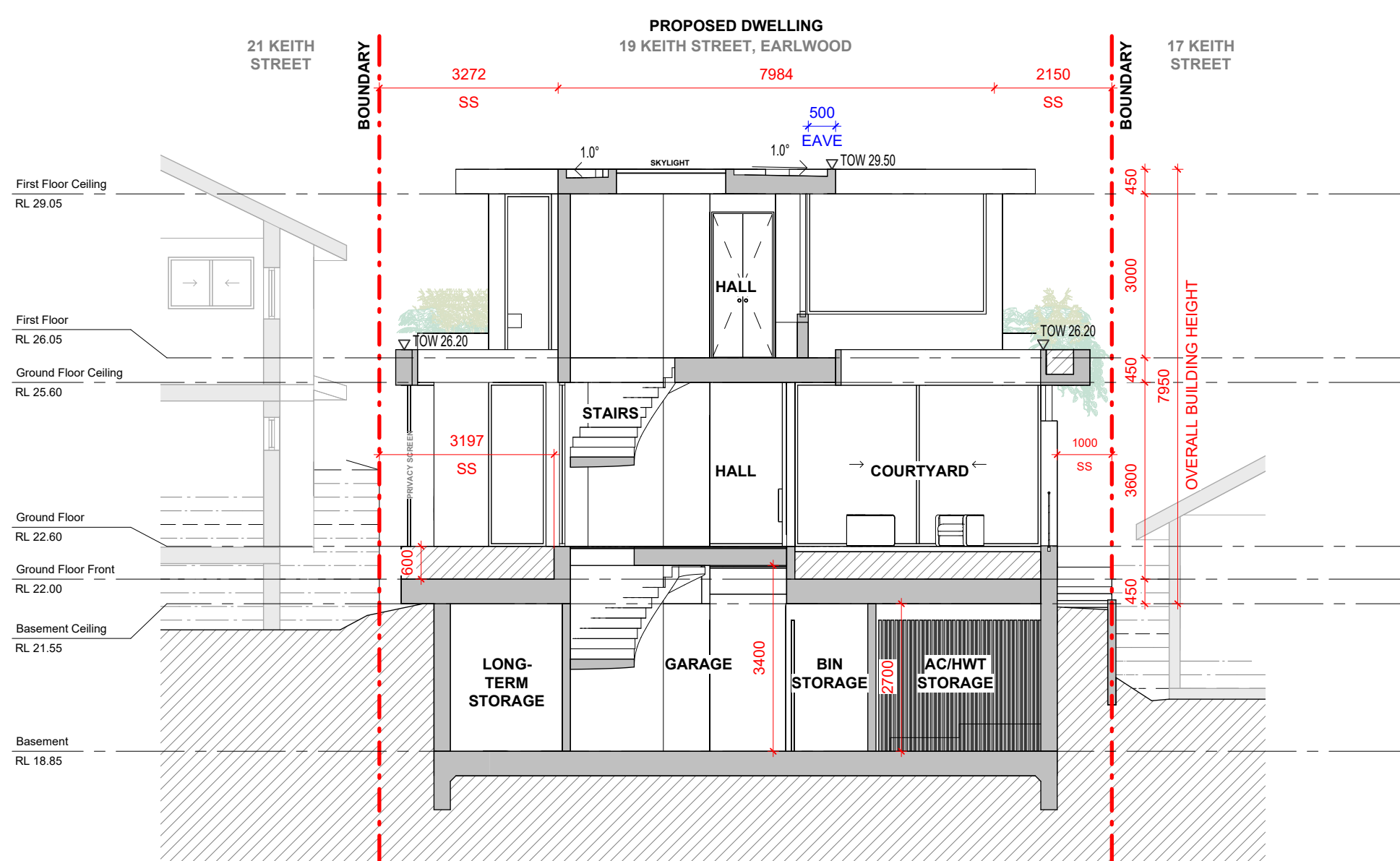
Elevation - Cabana - South-West
1 : 100

DA DRAWINGS ONLY - NOT FOR CONSTRUCTION

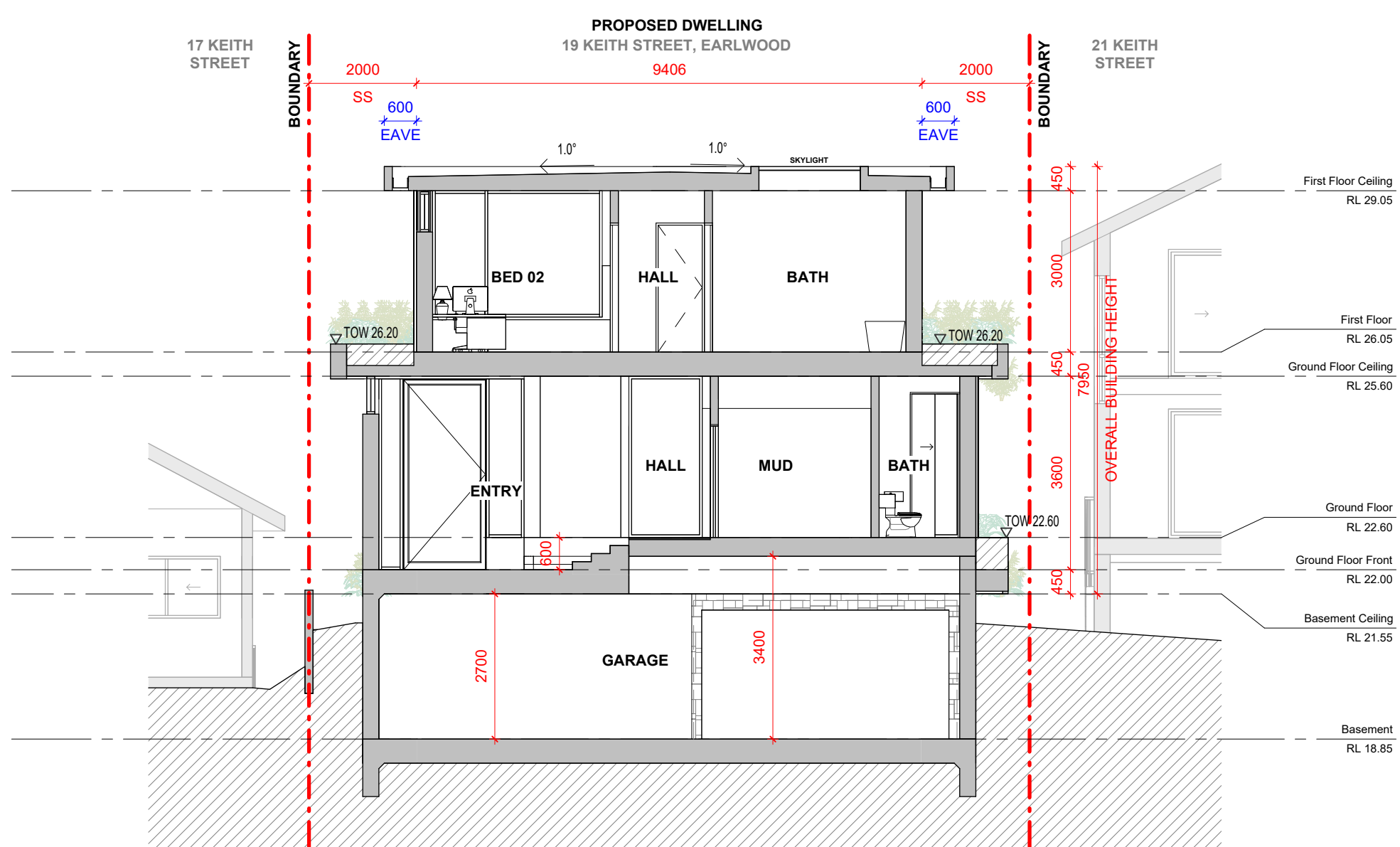
Project	Drawing Name	Date	Scale	Sheet Size	Job No.	Drawing No.	North Point	DO NOT SCALE FROM THESE DRAWINGS use given dimensions. Contractor/ Builder is to check all dimensions on site prior to commencement of shop drawings or fabrication. Any discrepancies are to be referred to the architect/ designer prior to commencement of work. This drawing is to be used in accordance with its "purpose of issue" only. No responsibility will be accepted for the improper use of this drawing. Architectural drawings indicate design intent only. Builder is to ensure that all construction is in accordance with all relevant Australian Standards, legislation, policies, Building Code of Australia, Development Consent and any other council or certifier's requirements. This set of drawings does not include all possible construction details and the builder is required to complete the design where the information is not available. Please contact the architect in case of doubt.	868 ARCHITECTS PTY LTD Nom. Arc. Robert Chapman-Malec Reg. No: 9315 38A President Ave, Caringbah, NSW, 2228 M: 0401 601 106 E: robert@868architects.com	868 ARCHITECTS
NGUYEN RESIDENCE	Elevations - Cabana	15/10/2024	1 : 100	@ A1	2401	A22 Revision / DA-1				
19 KEITH STREET, EARLWOOD		Drawn SS	Chk. RPCM							



Long Section
1 : 100



Short Section - Courtyard
1 : 100



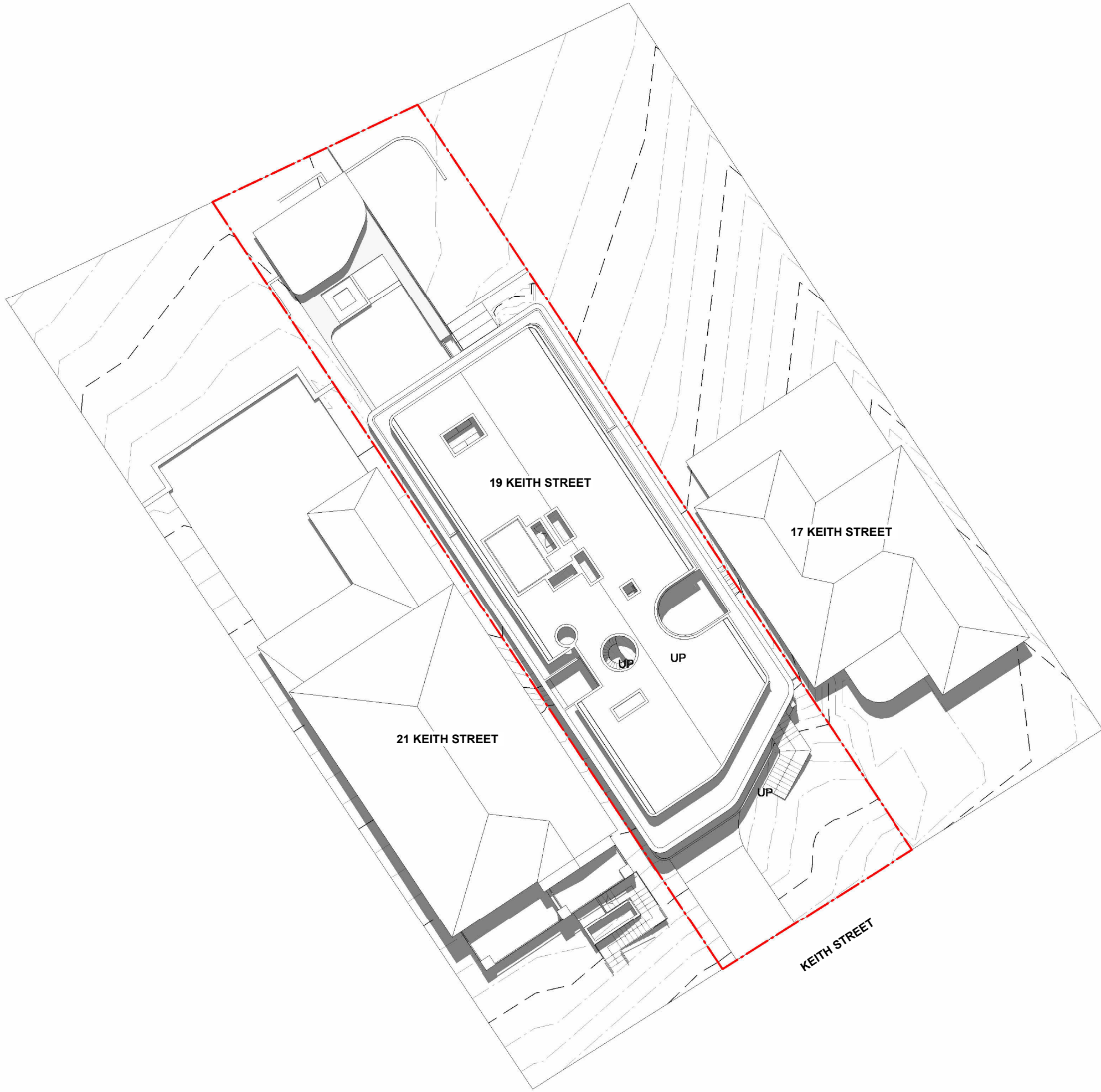
Short Section - Entryway
1 : 100

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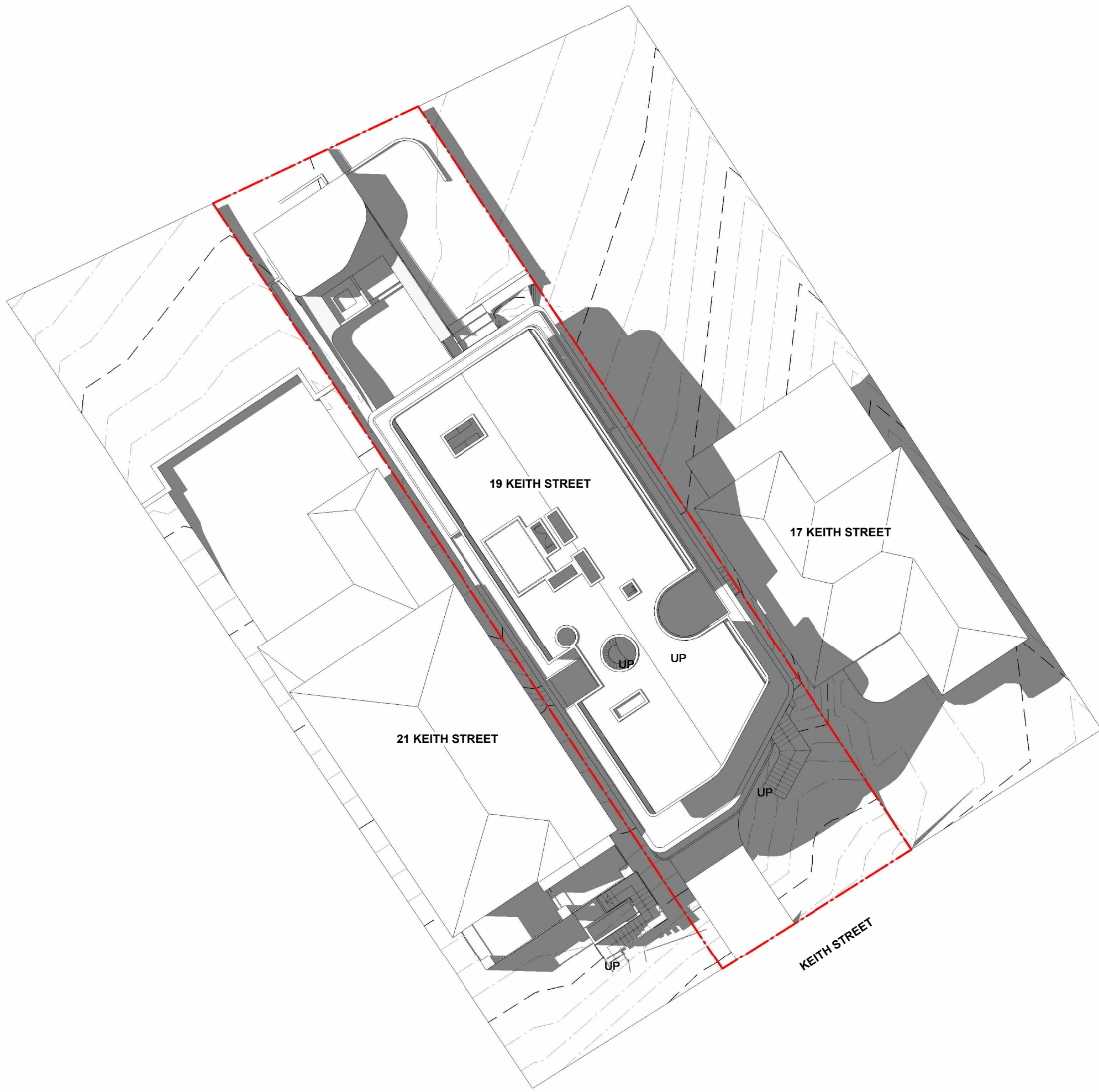
Project	Drawing Name	Date	Scale	Sheet Size	Job No.	Drawing No.	North Point	DO NOT SCALE FROM THESE DRAWINGS use given dimensions. Contractor/ Builder is to check all dimensions on site prior to commencement of shop drawings or fabrication. Any discrepancies are to be referred to the architect/ designer prior to commencement of work. This drawing is to be used in accordance with its "purpose of issue" only. No responsibility will be accepted for the improper use of this drawing. Architectural drawings indicate design intent only. Builder is to ensure that all construction is in accordance with all relevant Australian Standards, legislation, policies, Building Code of Australia, Development Consent and any other council or certifier's requirements. This set of drawings does not include all possible construction details and the builder is required to complete the design where the information is not available. Please contact the architect in case of doubt.	868 ARCHITECTS PTY LTD Nom. Arc. Robert Chapman-Malec Reg. No: 9315 38A President Ave, Caringbah, NSW, 2228 M: 0401 601 106 E: robert@868architects.com	868 ARCHITECTS
NGUYEN RESIDENCE 19 KEITH STREET, EARLOWOOD	Sections	15/10/2024 Chk. SS	1 : 100 RPCM	@ A1	2401	A30 Revision / DA-1				



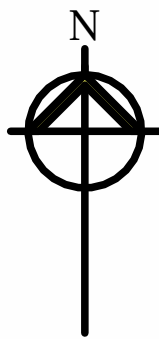
Summer - 21 Dec - 0900
1 : 250



Summer - 21 Dec- 1200
1 : 250



Summer - 21 Dec - 1500
1 : 250



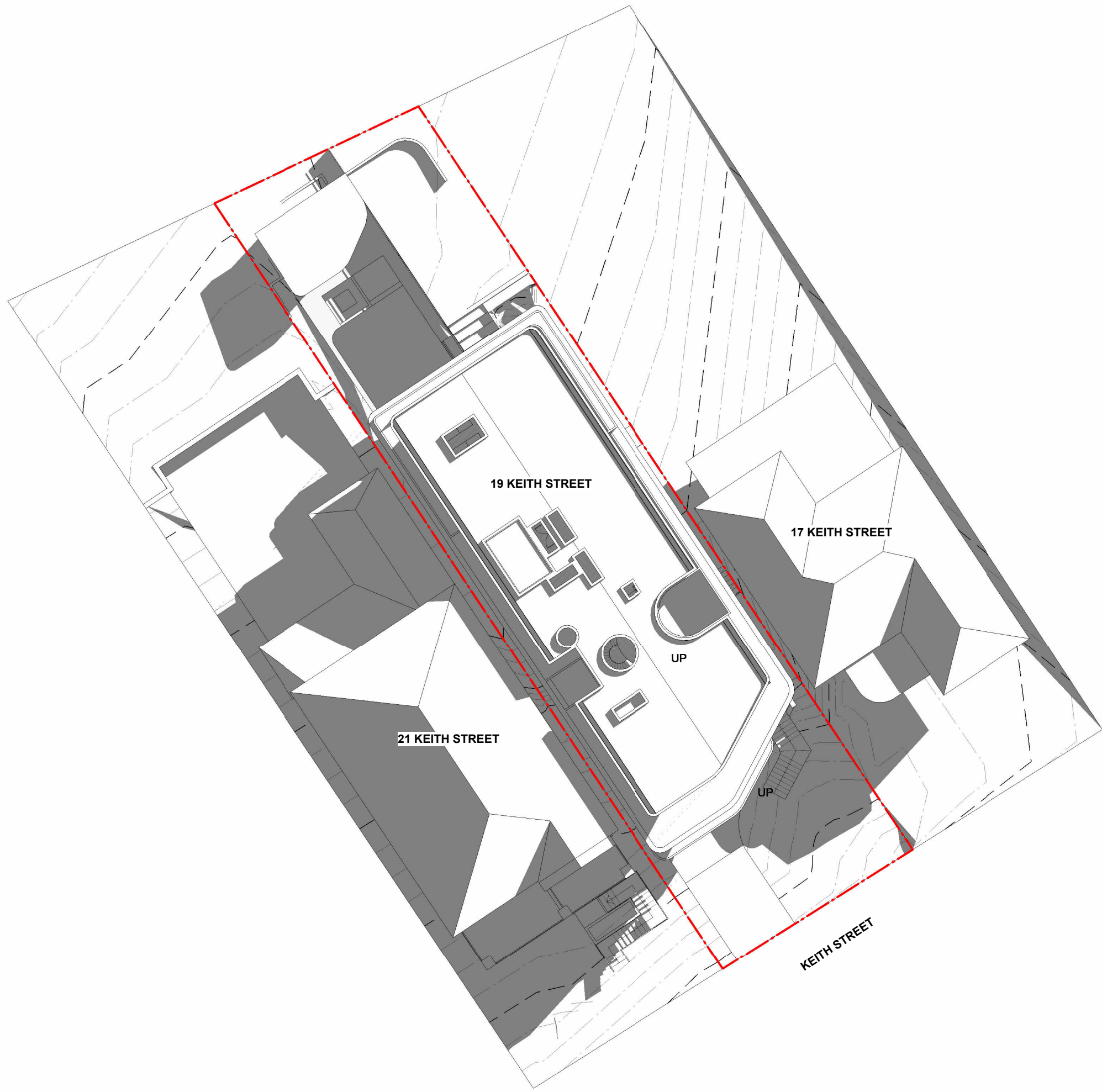
NOTE: TOPOGRAPHY & CONTEXT FOR NEIGHBOURING
SITES (17 + 21 KEITH STREET) EXTRAPOLATED FROM
LIMITED SURVEY POINTS AVAILABLE

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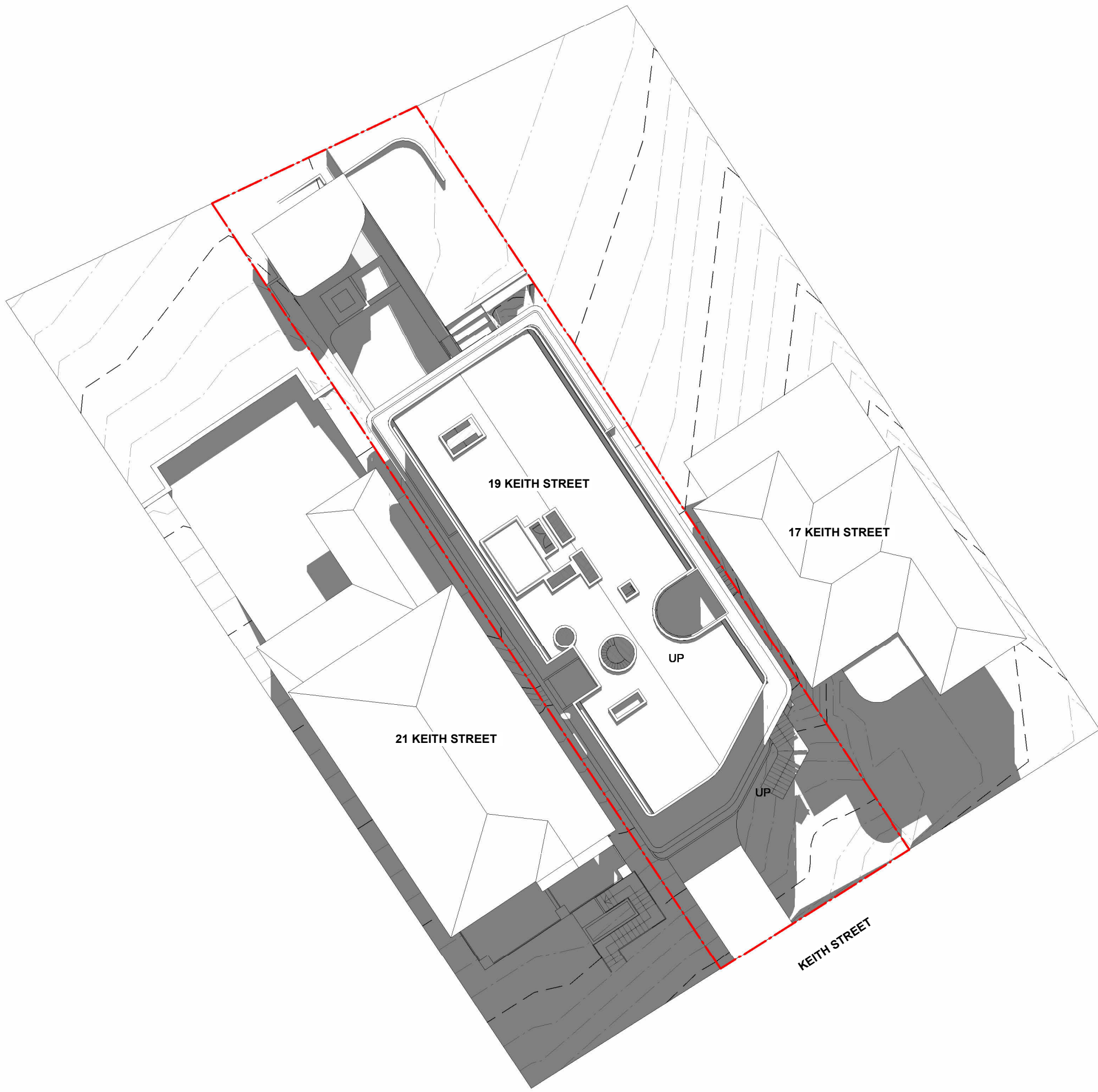
Project	Drawing Name	Date	Scale	Sheet Size	Job No.	Drawing No.	North Point	DO NOT SCALE FROM THESE DRAWINGS use given dimensions. Contractor/ Builder is to check all dimensions on site prior to commencement of shop drawings or fabrication. Any discrepancies are to be referred to the architect/ designer prior to commencement of work. This drawing is to be used in accordance with its "purpose of issue" only. No responsibility will be accepted for the improper use of this drawing. Architectural drawings indicate design intent only. Builder is to ensure that all construction is in accordance with all relevant Australian Standards, legislation, policies, Building Code of Australia, Development Consent and any other council or certifier's requirements. This set of drawings does not include all possible construction details and the builder is required to complete the design where the information is not available. Please contact the architect in case of doubt.
NGUYEN RESIDENCE	Shadow Diagrams - Summer - 0900-1500	15/10/2024	1 : 250	@ A1	2401	A40		
		Drawn SS	Chk. RPCM			Revision / DA-1		

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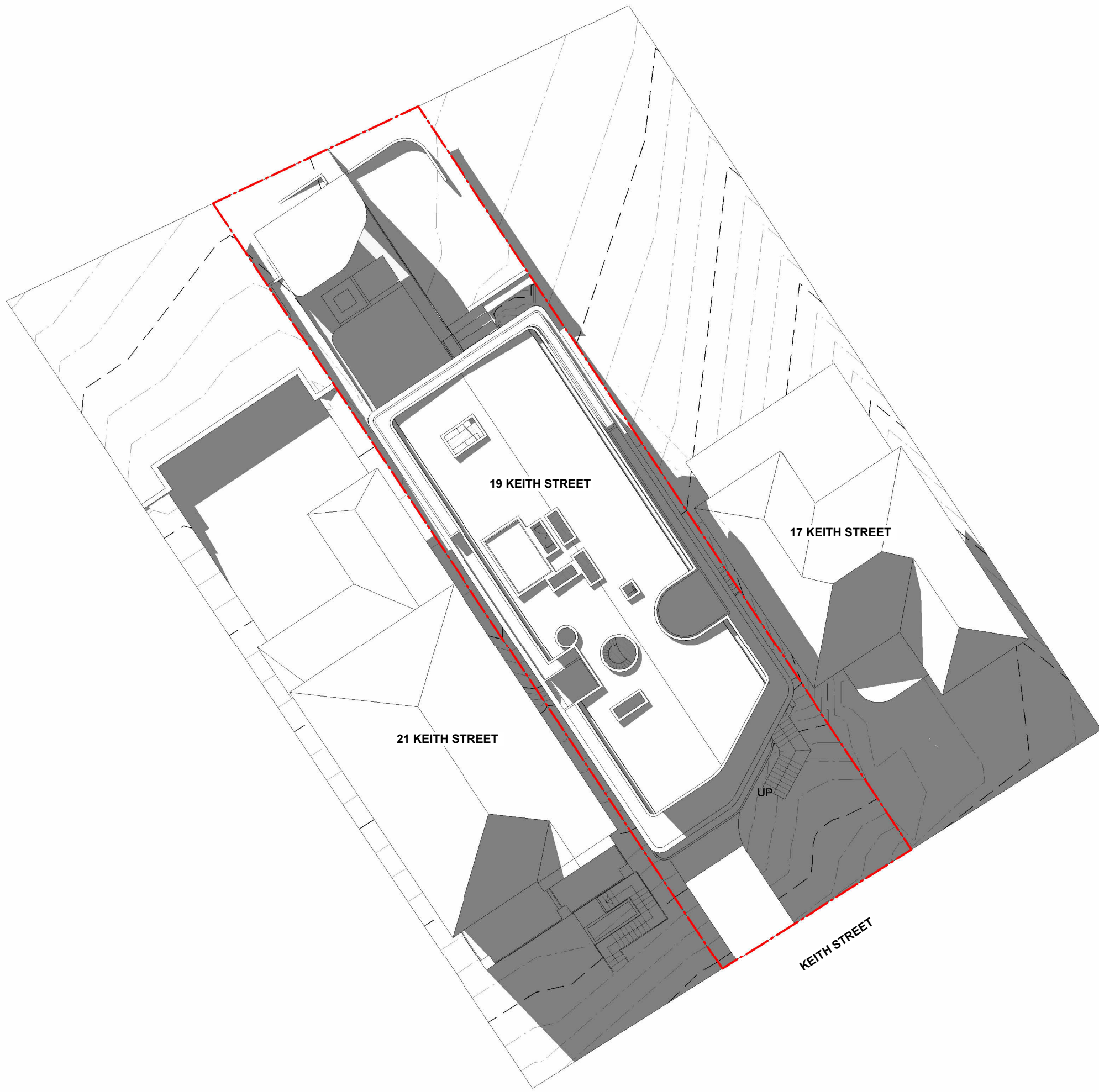
868 ARCHITECTS



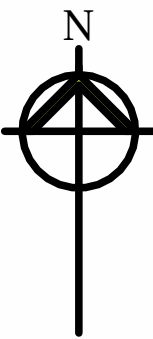
Winter - 21 June - 0900
1 : 250



Winter - 21 June - 1200
1 : 250



Winter - 21 June - 1500
1 : 250



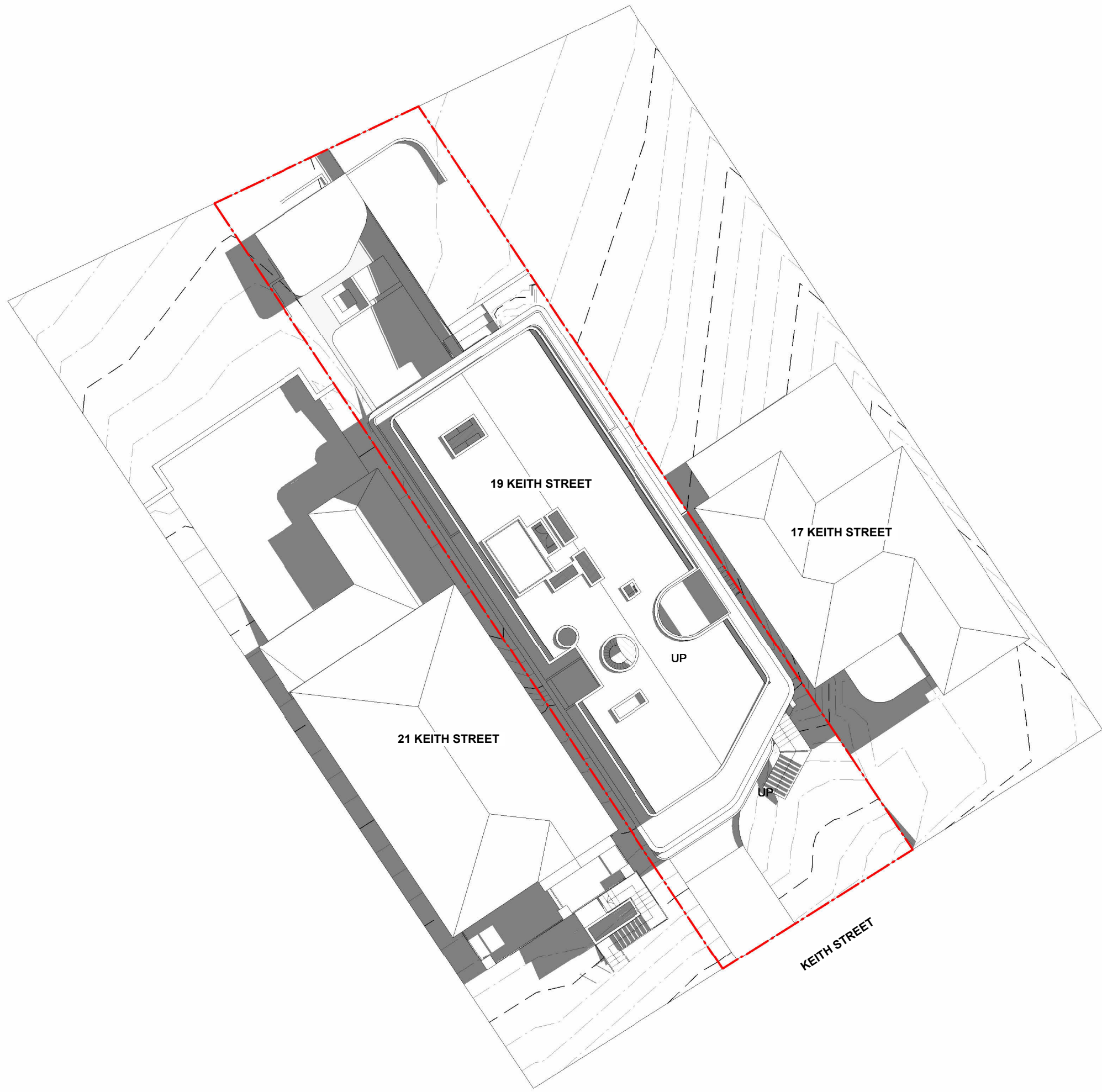
NOTE: TOPOGRAPHY & CONTEXT FOR NEIGHBOURING
SITES (17 + 21 KEITH STREET) EXTRAPOLATED FROM
LIMITED SURVEY POINTS AVAILABLE

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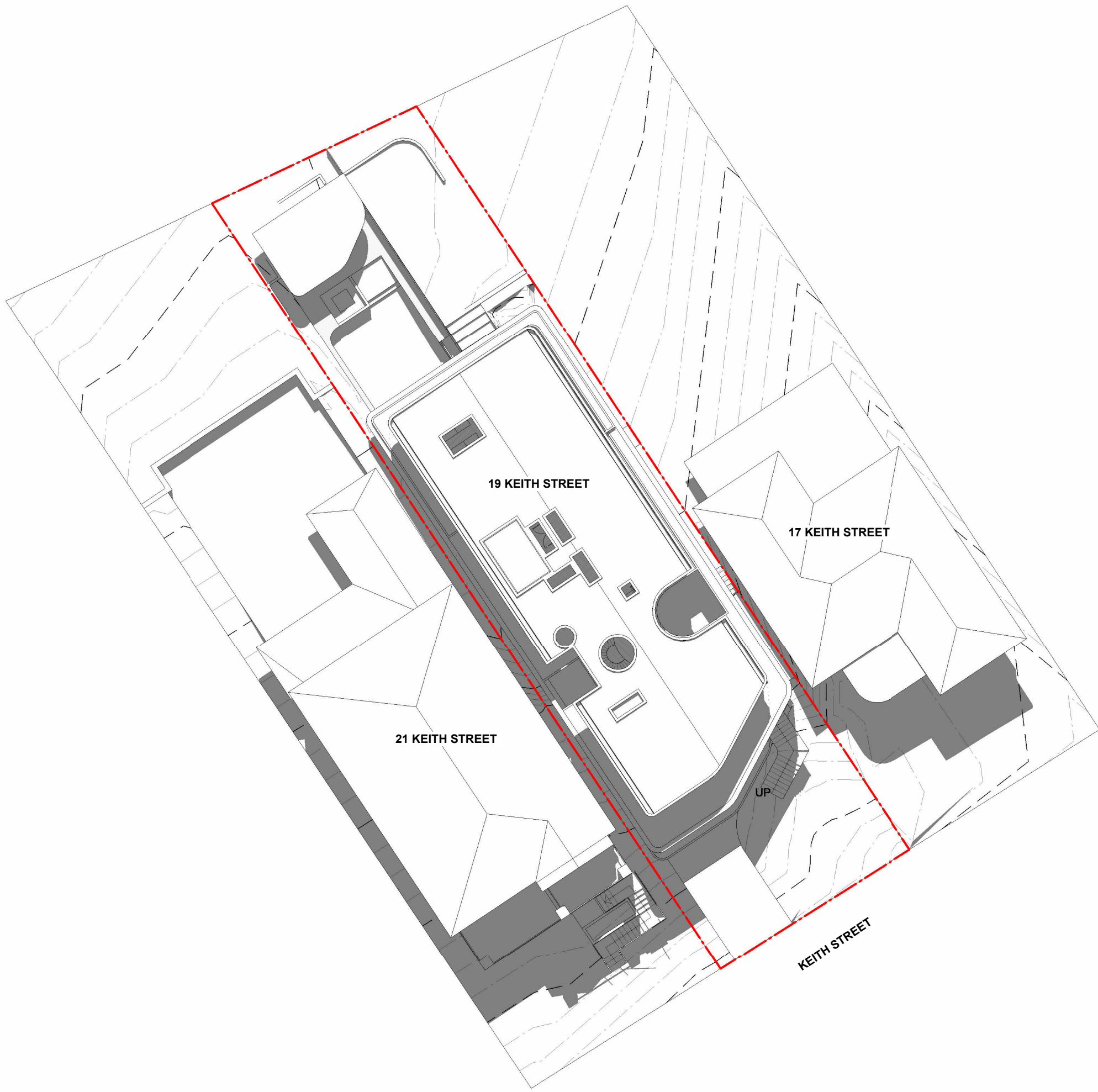
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NGUYEN RESIDENCE	Shadow Diagrams - Winter - 0900-1500	15/10/2024	1 : 250	@ A1	2401	A41		
		Drawn SS	Chk. RPCM			Revision / DA-1		

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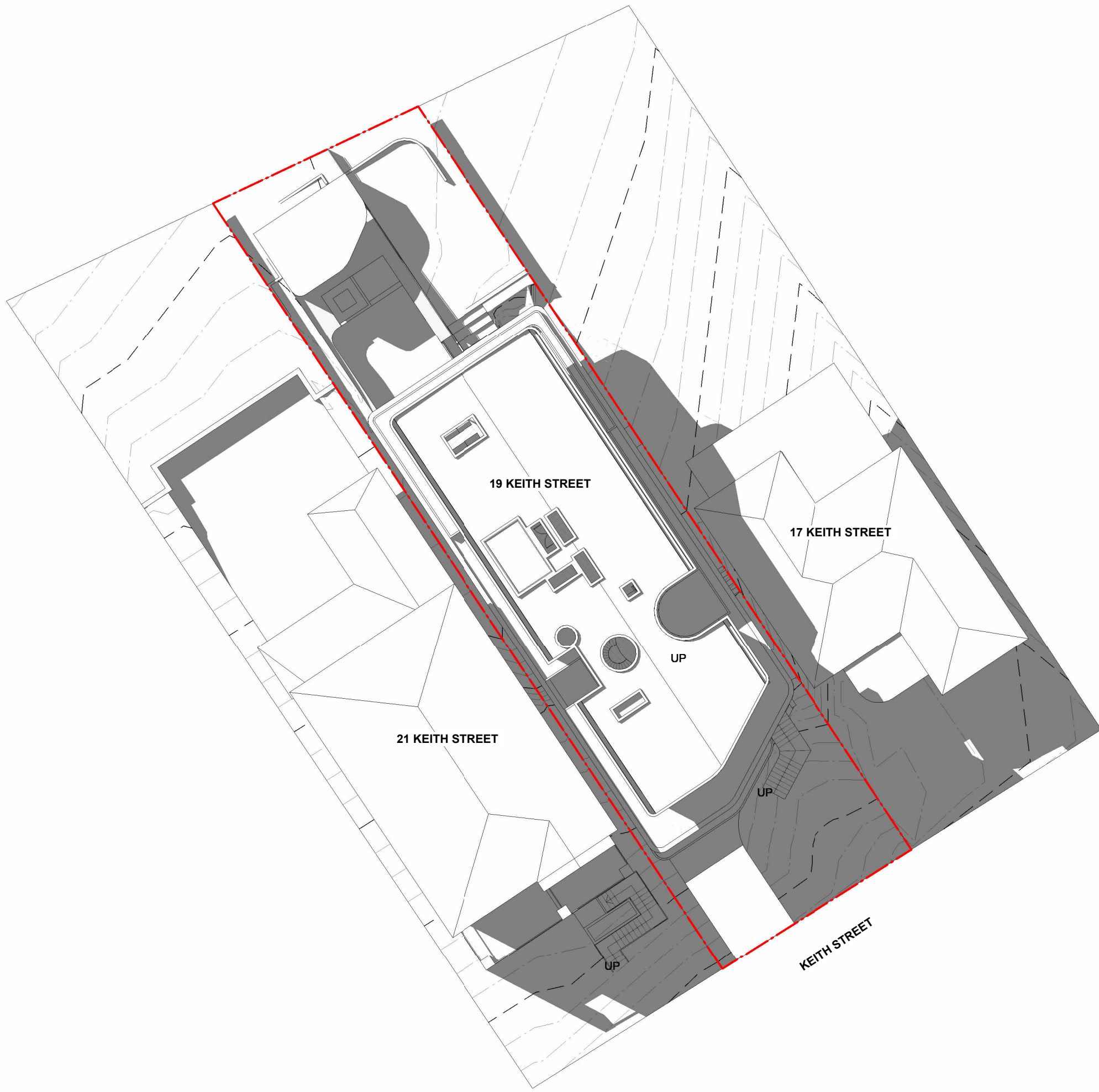
868 ARCHITECTS



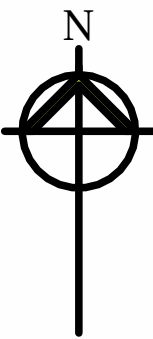
Equinox - 21 Sept - 0900
1 : 250



Equinox - 21 Sept - 1200
1 : 250



Equinox - 21 Sept - 1500
1 : 250

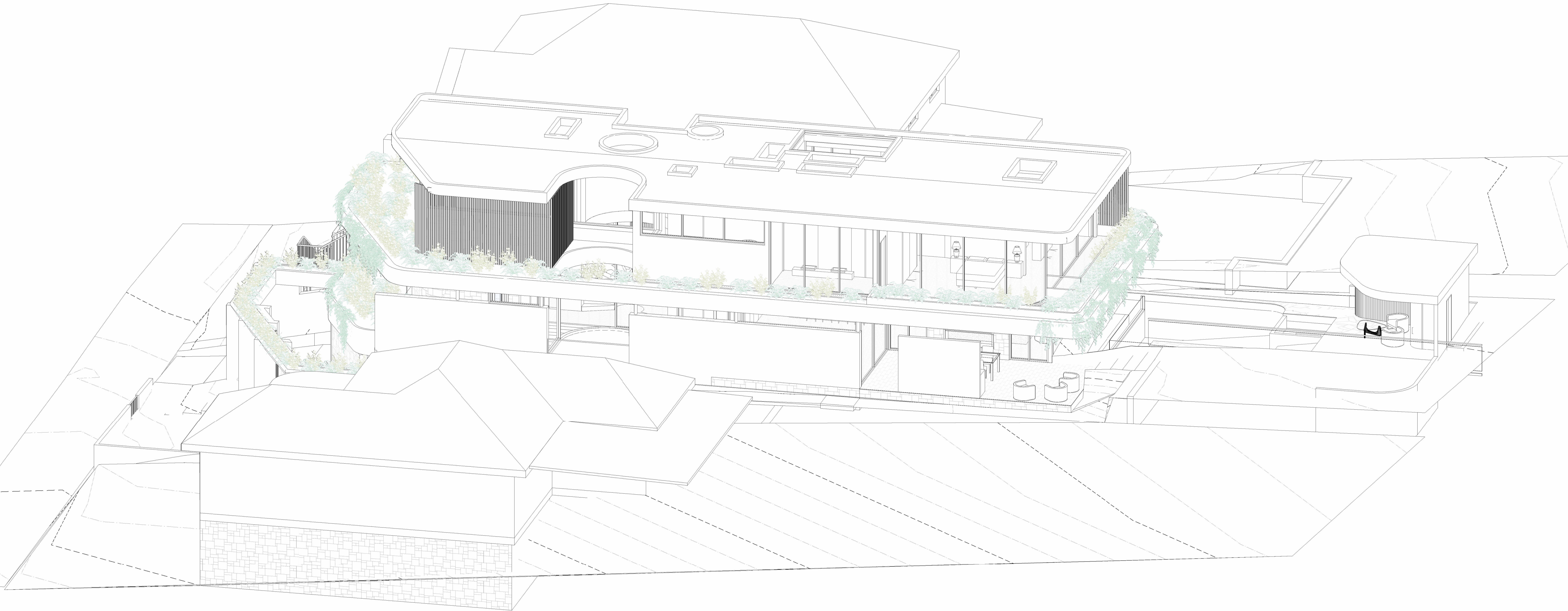


NOTE: TOPOGRAPHY & CONTEXT FOR NEIGHBOURING
SITES (17 + 21 KEITH STREET) EXTRAPOLATED FROM
LIMITED SURVEY POINTS AVAILABLE

DA DRAWINGS ONLY - NOT FOR CONSTRUCTION

Project	Drawing Name	Date	Scale	Sheet Size	Job No.	Drawing No.	North Point	DO NOT SCALE FROM THESE DRAWINGS use given dimensions. Contractor/ Builder is to check all dimensions on site prior to commencement of shop drawings or fabrication. Any discrepancies are to be referred to the architect/ designer prior to commencement of work. This drawing is to be used in accordance with its "purpose of issue" only. No responsibility will be accepted for the improper use of this drawing. Architectural drawings indicate design intent only. Builder is to ensure that all construction is in accordance with all relevant Australian Standards, legislation, policies, Building Code of Australia, Development Consent and any other council or certifier's requirements. This set of drawings does not include all possible construction details and the builder is required to complete the design where the information is not available. Please contact the architect in case of doubt.
NGUYEN RESIDENCE	Shadow Diagrams - Equinox - 0900-1500	15/10/2024	1 : 250	@ A1	2401	A42		
		Drawn SS	Chk. RPCM			Revision / DA-1		
								868 ARCHITECTS PTY LTD Nom. Arc. Robert Chapman-Malec Reg. No: 9315 38A President Ave, Caringbah, NSW, 2228 M: 0401 601 106 E: robert@868architects.com

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Sun Eye Diagram - 0900

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NGUYEN RESIDENCE	Sun Eye Diagrams - Winter - 0900	15/10/2024	NTS	@ A1	2401	A43.1		
19 KEITH STREET, EARLWOOD		Drawn SS	Chk. RPCM			Revision / DA-1		

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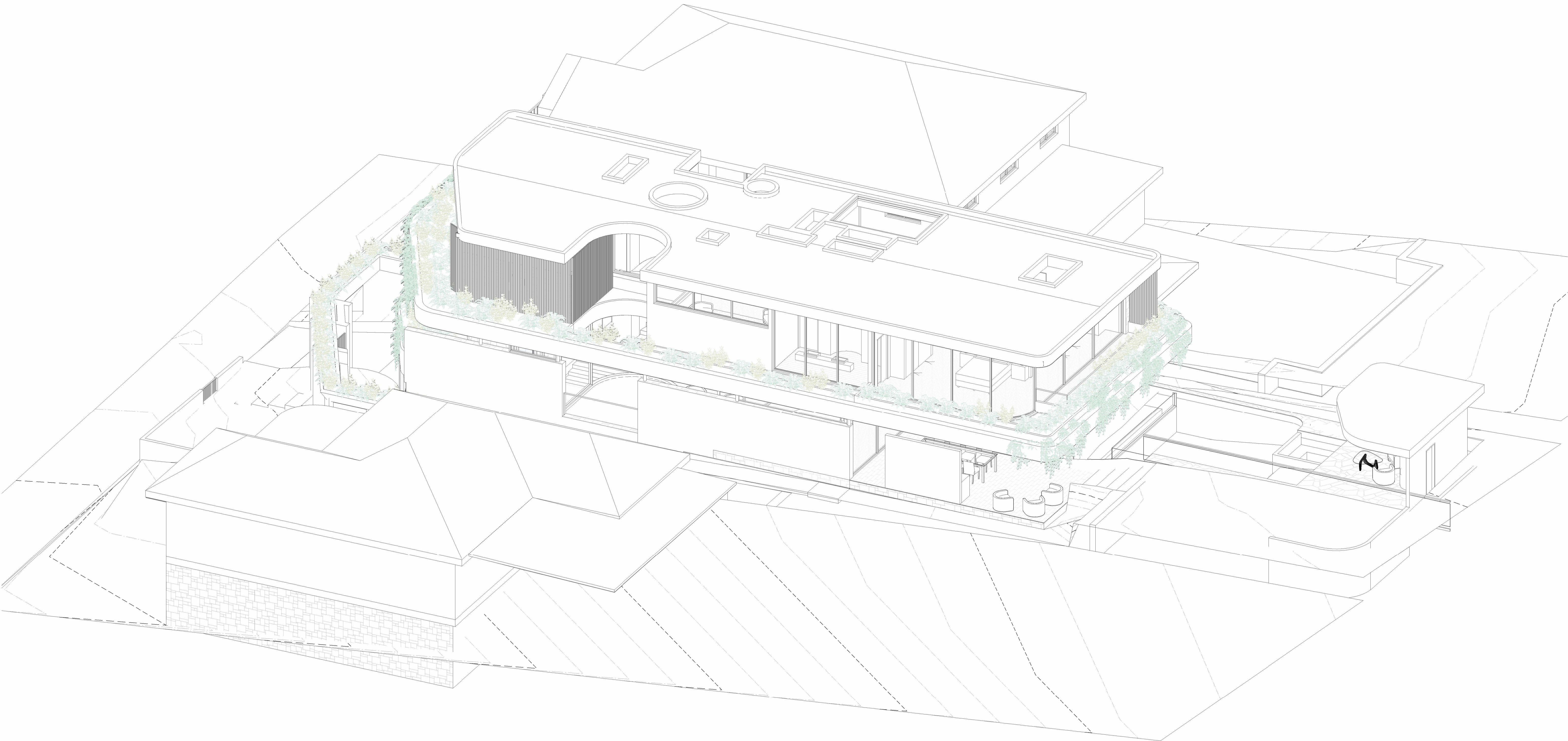
Reg. No: 9315

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M: 0401 601 106 E: robert@868architects.com

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Sun Eye Diagram - 1000

NOTE: TOPOGRAPHY & CONTEXT FOR NEIGHBOURING
SITES (17 + 21 KEITH STREET) EXTRAPOLATED FROM
LIMITED SURVEY POINTS AVAILABLE

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Project	Drawing Name	Date	Scale	Sheet Size	Job No.	Drawing No.	North Point	DO NOT SCALE FROM THESE DRAWINGS use given dimensions. Contractor/ Builder is to check all dimensions on site prior to commencement of shop drawings or fabrication. Any discrepancies are to be referred to the architect/ designer prior to commencement of work. This drawing is to be used in accordance with its "purpose of issue" only. No responsibility will be accepted for the improper use of this drawing. Architectural drawings indicate design intent only. Builder is to ensure that all construction is in accordance with all relevant Australian Standards, legislation, policies, Building Code of Australia, Development Consent and any other council or certifier's requirements. This set of drawings does not include all possible construction details and the builder is required to complete the design where the information is not available. Please contact the architect in case of doubt.
NGUYEN RESIDENCE	Sun Eye Diagrams - Winter - 1000	15/10/2024	NTS	@ A1	2401	A43.2		
19 KEITH STREET, EARLWOOD		Drawn SS	Chk. RPCM			Revision / DA-1		

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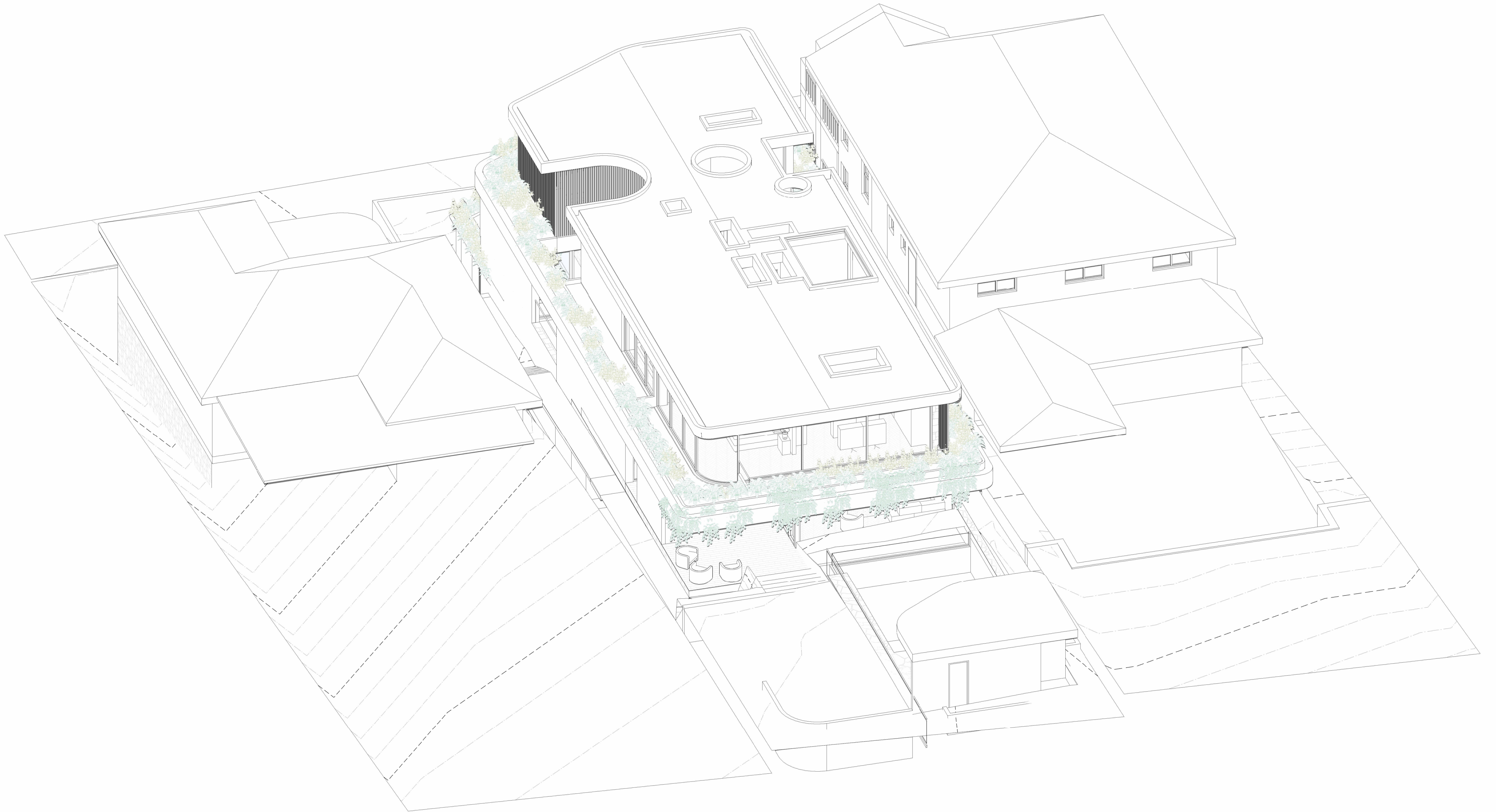
Reg. No: 9315

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Sun Eye Diagram - 1300

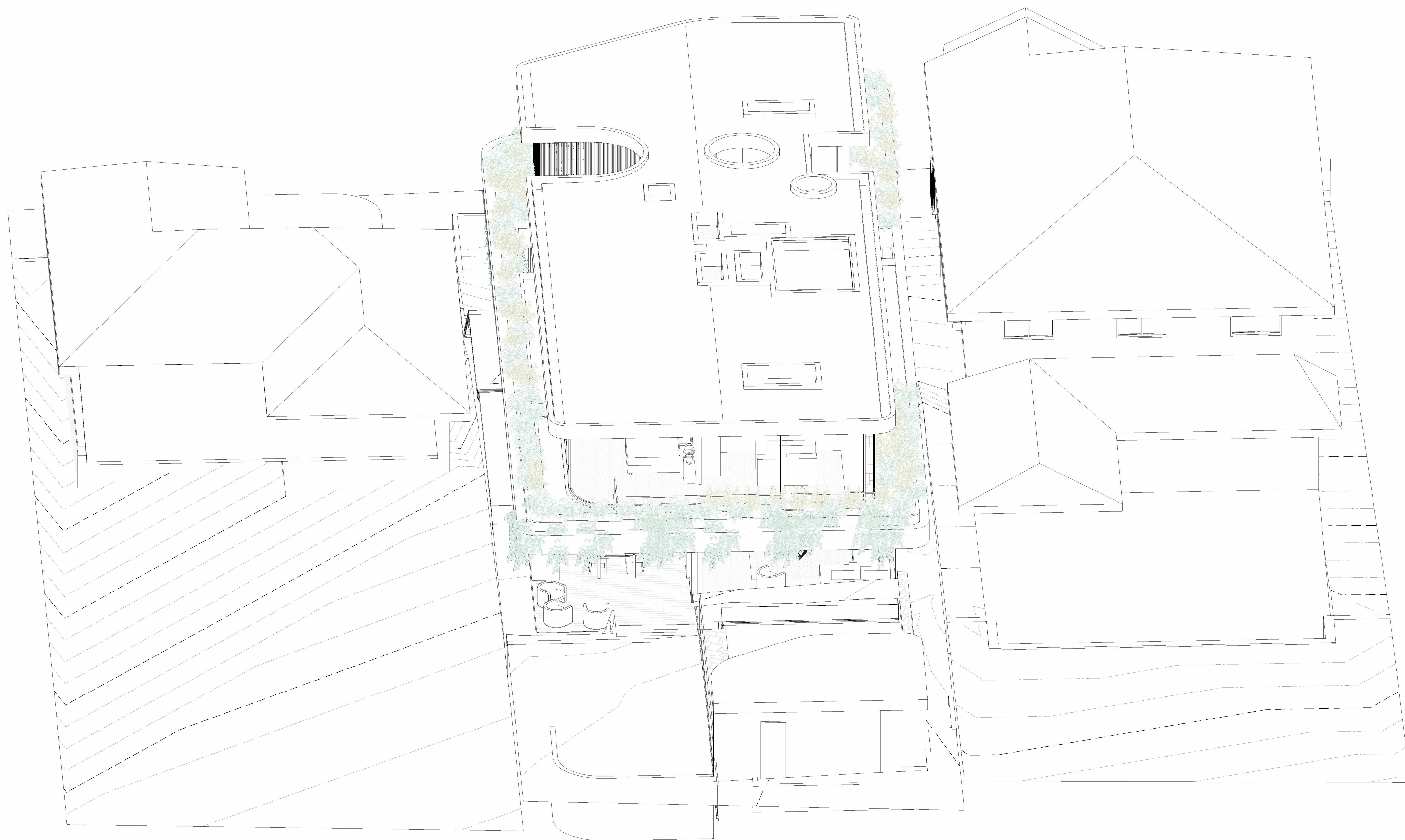
NOTE: TOPOGRAPHY & CONTEXT FOR NEIGHBOURING
SITES (17 + 21 KEITH STREET) EXTRAPOLATED FROM
LIMITED SURVEY POINTS AVAILABLE

DA DRAWINGS ONLY - NOT FOR CONSTRUCTION

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NGUYEN RESIDENCE	Sun Eye Diagrams - Winter - 1300	15/10/2024	NTS	@ A1	2401	A43.5		
19 KEITH STREET, EARLWOOD		Drawn SS	Chk. RPCM			Revision / DA-1		

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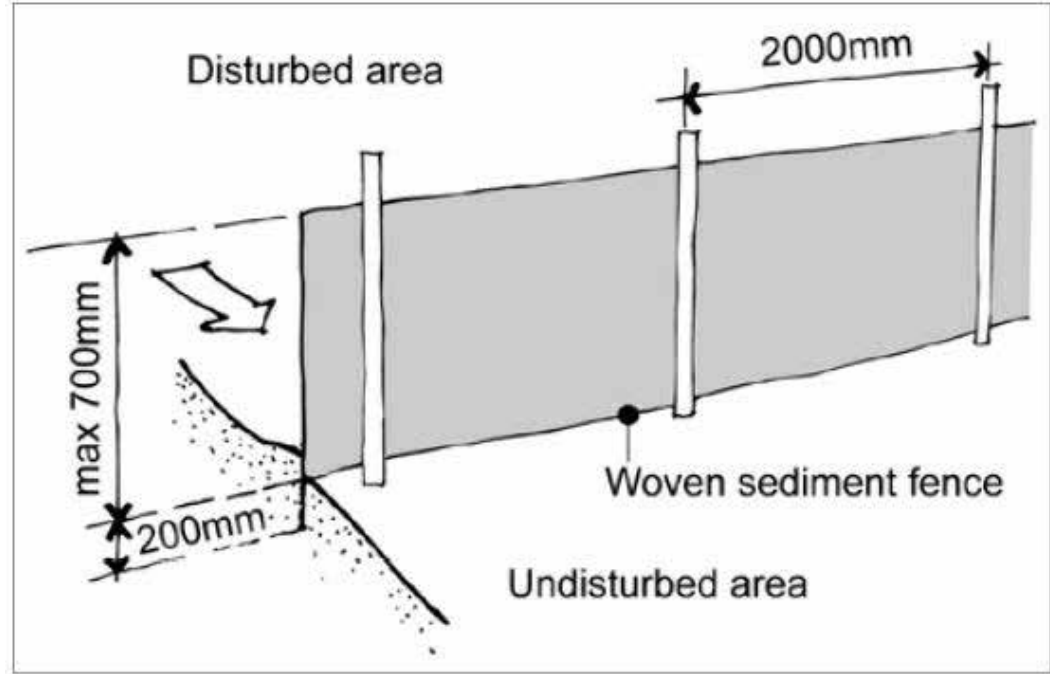
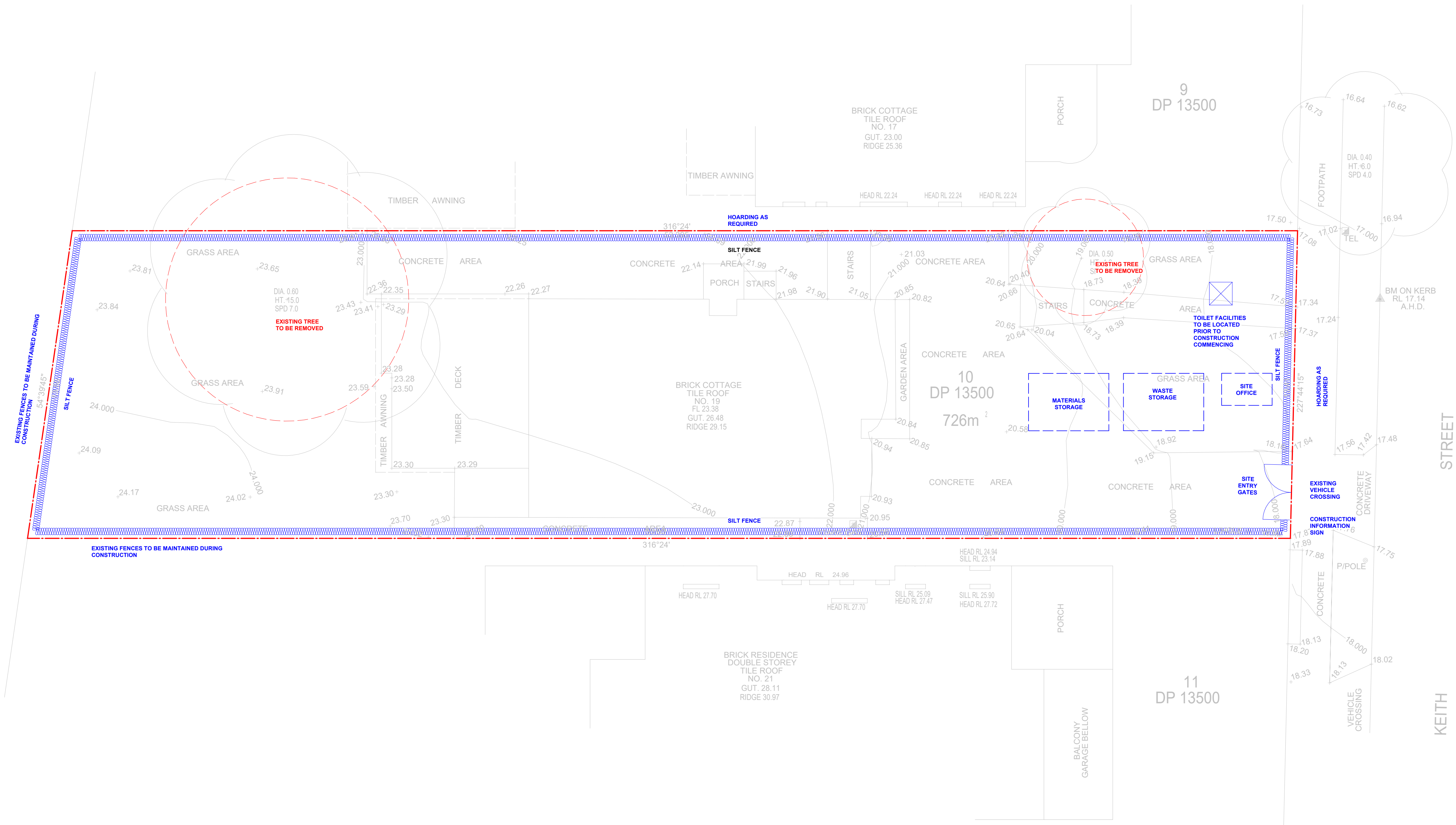


Sun Eye Diagram - 1400

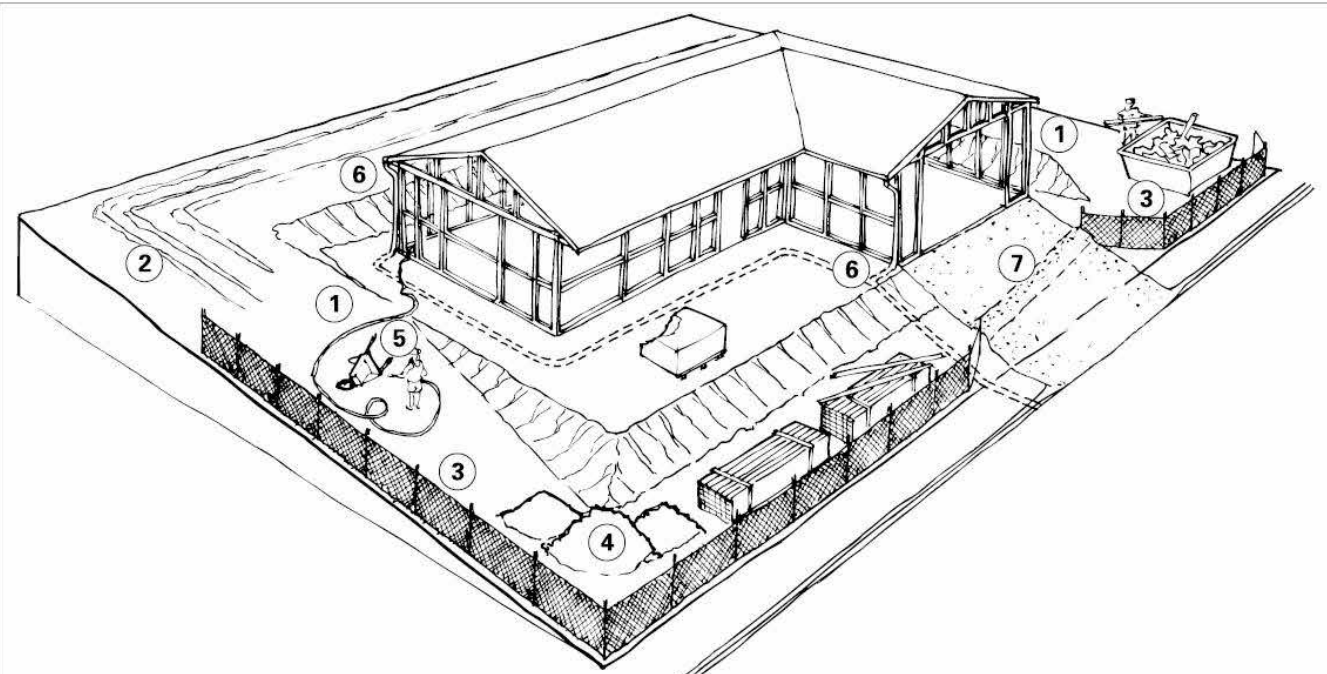
NOTE: TOPOGRAPHY & CONTEXT FOR NEIGHBOURING SITES (17 + 21 KEITH STREET) EXTRAPOLATED FROM LIMITED SURVEY POINTS AVAILABLE

DA DRAWINGS ONLY - NOT FOR CONSTRUCTION

Project		Drawing Name		Date	Scale	Sheet Size	Job No.	Drawing No.	North Point	<div>DO NOT SCALE FROM THESE DRAWINGS use given dimensions. Contractor/ Builder is to check all dimensions on site prior to commencement of shop drawings or fabrication. Any discrepancies are to be referred to the architect/ designer prior to commencement of work. This drawing is to be used in accordance with its "purpose of issue" only. No responsibility will be accepted for the improper use of these drawings. Architectural drawings indicate design intent only. Builder is to ensure that all construction is in accordance with all relevant Australian standards, legislation, policies, Building Code of Australia, Development Consent and any other council or certifier's requirements. This set of drawings does not include all possible construction details and the builder is required to complete the design where the information is not available. Please contact the architect in case of doubt.</div>	<div>868 ARCHITECTS PTY LTD Norm. Arc. Robert Chapman-Malec Reg. No: 9315 38A President Ave, Caringbah, NSW, 2228 M: 0401 601 106 E: robert@868architects.com</div>	<div>868</div> <div>ARCHITECTS</div>	
GUYEN RESIDENCE		19 KEITH STREET, EARLWOOD		Sun Eye Diagrams - Winter - 1400		15/10/2024	NTS	@ A1	2401				A43.6
				Drawn SS	Chk. RPCM			Revision / DA-1					



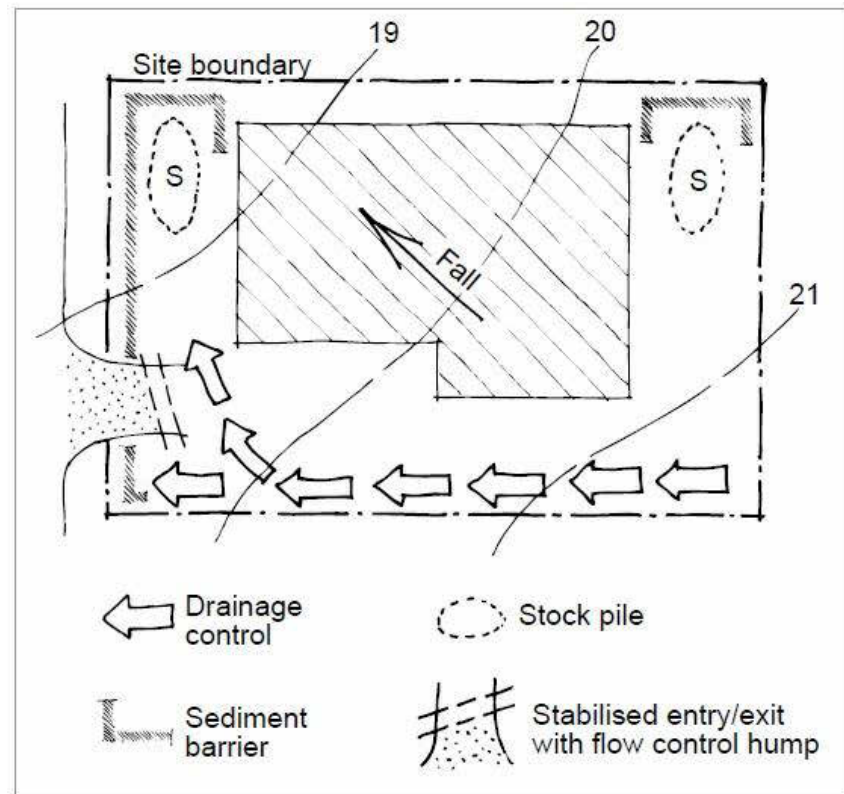
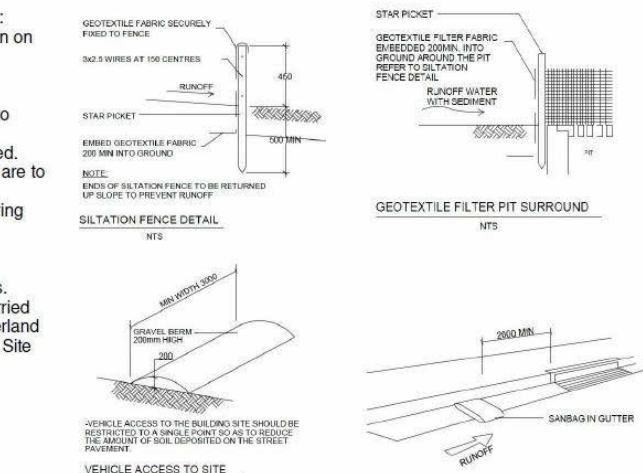
Woven sediment fences trap sediment but allow water through.



Erosion and sediment control measures: 1 minimise disturbance, 2 diversion devices, 3 sediment barriers, 4 secure stockpiles, 5 other containments, 6 early stormwater connection, 7 controlled access point.

- TREE PROTECTION GUIDELINES**
- 1. WORK NEAR TREES**
All trees shown on the drawings which are to remain undisturbed are indicated on the drawings and shall be adequately protected for the duration of the construction and shall be the subject of a written tree protection plan. The tree protection plan shall be submitted to the Council for approval prior to the commencement of construction. The tree protection plan shall include details of the tree protection measures to be implemented and the location of the tree protection measures. The tree protection plan shall be approved by the Council prior to the commencement of construction. The tree protection plan shall be implemented in accordance with the Council's Tree Protection Policy.
- 2. PROTECTION**
Trees shall be protected from damage by construction activities. The tree protection measures shall be implemented in accordance with the Council's Tree Protection Policy. The tree protection measures shall include the following:
2.1. Installation of a tree protection fence around the tree.
2.2. Installation of a tree protection sign.
2.3. Installation of a tree protection barrier.
2.4. Installation of a tree protection net.
2.5. Installation of a tree protection cover.
2.6. Installation of a tree protection mat.
2.7. Installation of a tree protection board.
2.8. Installation of a tree protection sheet.
2.9. Installation of a tree protection cloth.
2.10. Installation of a tree protection fabric.
2.11. Installation of a tree protection material.
2.12. Installation of a tree protection product.
2.13. Installation of a tree protection item.
2.14. Installation of a tree protection object.
2.15. Installation of a tree protection thing.
2.16. Installation of a tree protection stuff.
2.17. Installation of a tree protection stuff.
2.18. Installation of a tree protection stuff.
2.19. Installation of a tree protection stuff.
2.20. Installation of a tree protection stuff.

- Soil and Water Management:**
1. Install a silt fence as shown on plan prior to any on site earthworks commencing.
2. Install temporary sediment barriers to all inlet pits likely to collect silt-laden water until regressed.
3. All silt fences and barriers are to be maintained in good construction and desilted during construction.
4. Construction Management:
1. Waste Materials are to be stockpiled or loaded into bins.
All protection works to be carried out in accordance with Sutherland Shire Council Environmental Site Management DCP.



Sediment control layout on a compact urban site.

Soil and Water Management:

1. Install a silt fence as shown on plan prior to any on site earthworks commencing.
2. Install temporary sediment barriers to all inlet pits likely to collect silt-laden water until regressed.
3. All silt fences and barriers are to be maintained in good construction and desilted during construction.

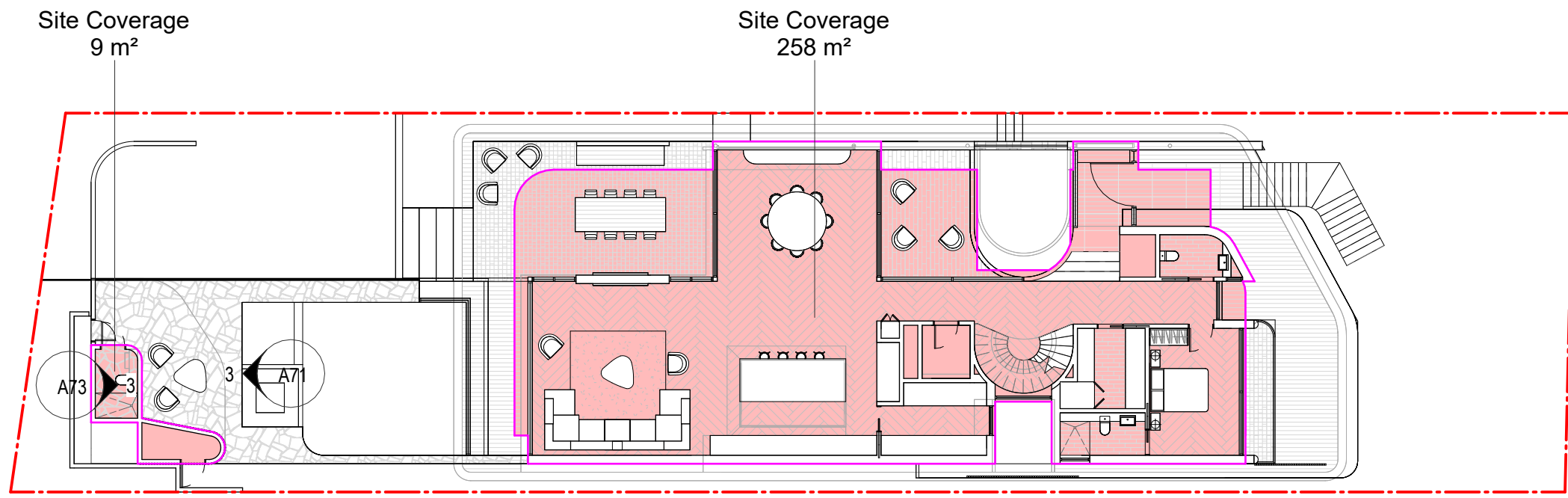
Construction Management:

1. Waste Materials are to be stockpiled or loaded into bins.

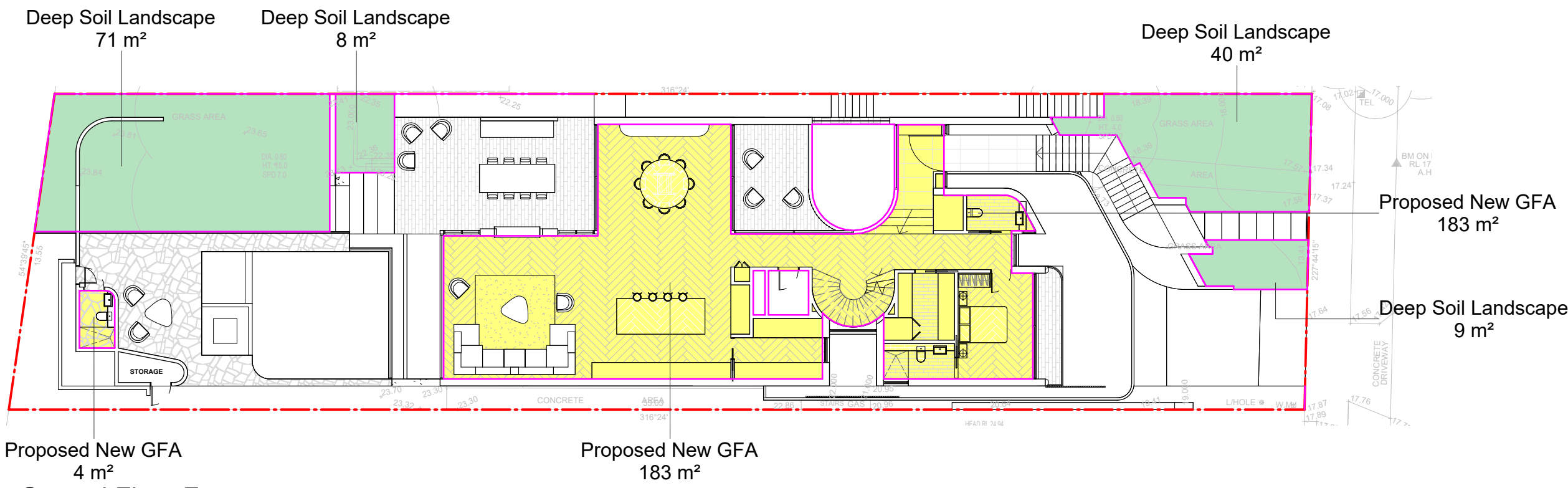
All protection works to be carried out in accordance with Canterbury-Bankstown Environmental Site Management DCP

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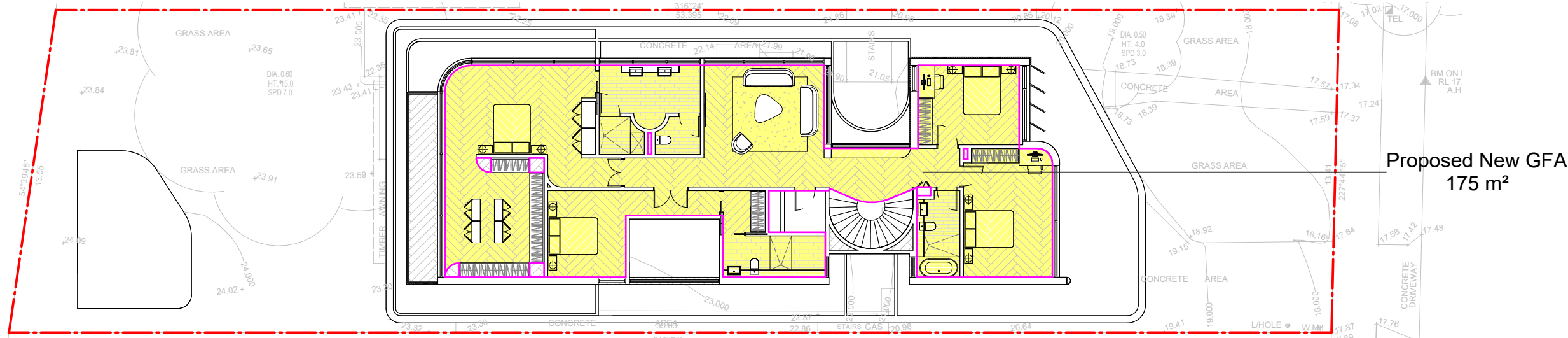
Project		Drawing Name	Date	Scale	Sheet Size	Job No.	Drawing No.	North Point	DO NOT SCALE FROM THESE DRAWINGS use given dimensions. Contractor/ Builder is to check all dimensions on site prior to commencement of shop drawings or fabrication. Any discrepancies are to be referred to the architect/ designer prior to commencement of work. This drawing is to be used in accordance with its "purpose of issue" only. No responsibility will be accepted for the improper use of this drawing. Architectural drawings indicate design intent only. Builder is to ensure that all construction is in accordance with all relevant Australian Standards, legislation, policies, Building Code of Australia, Development Consent and any other council or certifier's requirements. This set of drawings does not include all possible construction details and the builder is required to complete the design where the information is not available. Please contact the architect in case of doubt.	868 ARCHITECTS PTY LTD Nom. Arc. Robert Chapman-Malec Reg. No: 9315 38A President Ave, Carlingbah, NSW, 2228 M: 0401 601 106 E: robert@868architects.com	<div>868</div> <div>ARCHITECTS</div>
NGUYEN RESIDENCE	19 KEITH STREET, EARLWOOD	Construction & Waste Management	15/10/2024	1 : 100	@ A1	2401	A50				
			Drawn SS	Chk. RPCM		Revision / DA-1					



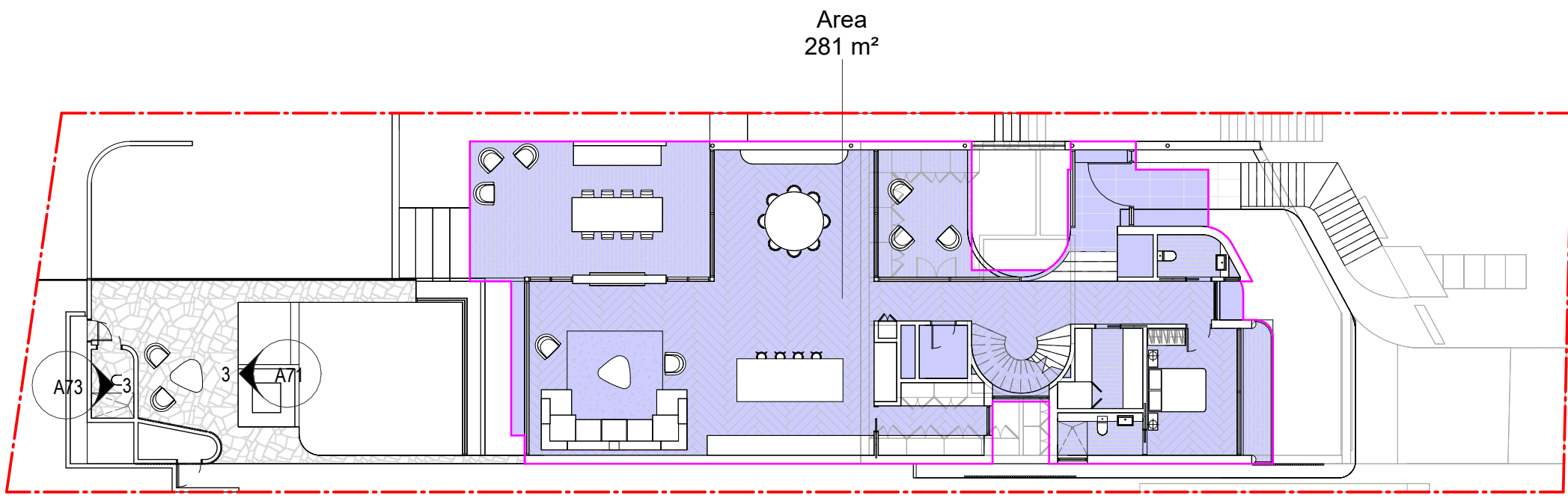
Site Coverage Plan
1 : 200



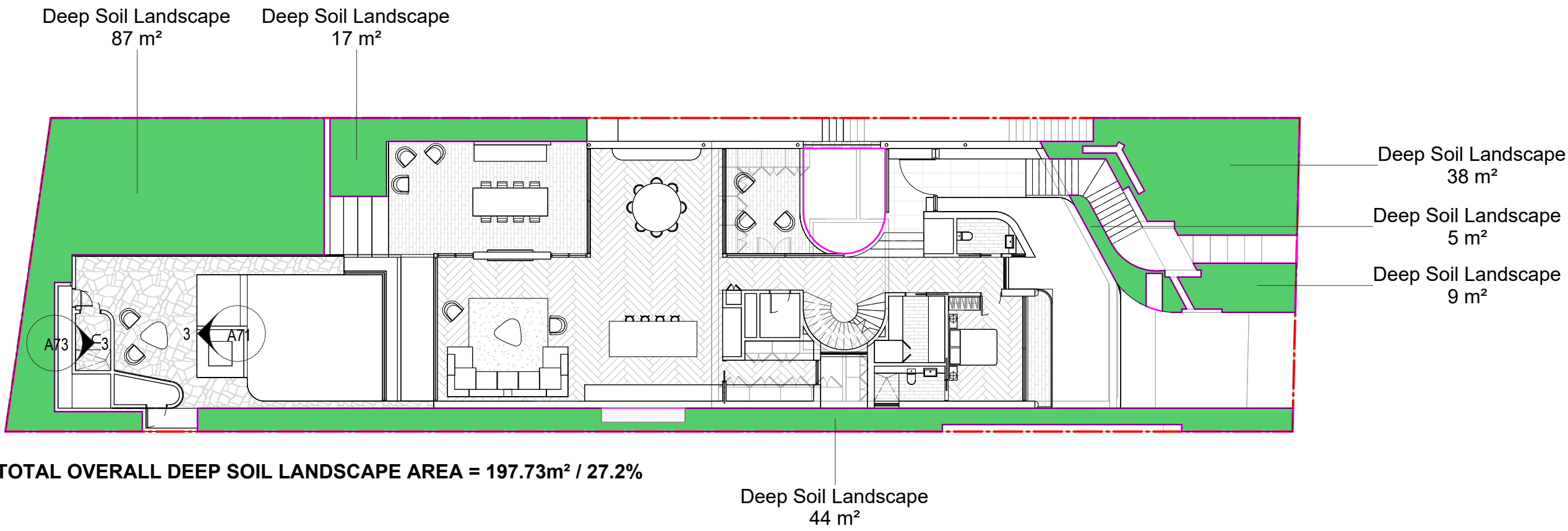
Ground Floor Front
1 : 200



First Floor
1 : 200



Building Footprint Plan
1 : 200

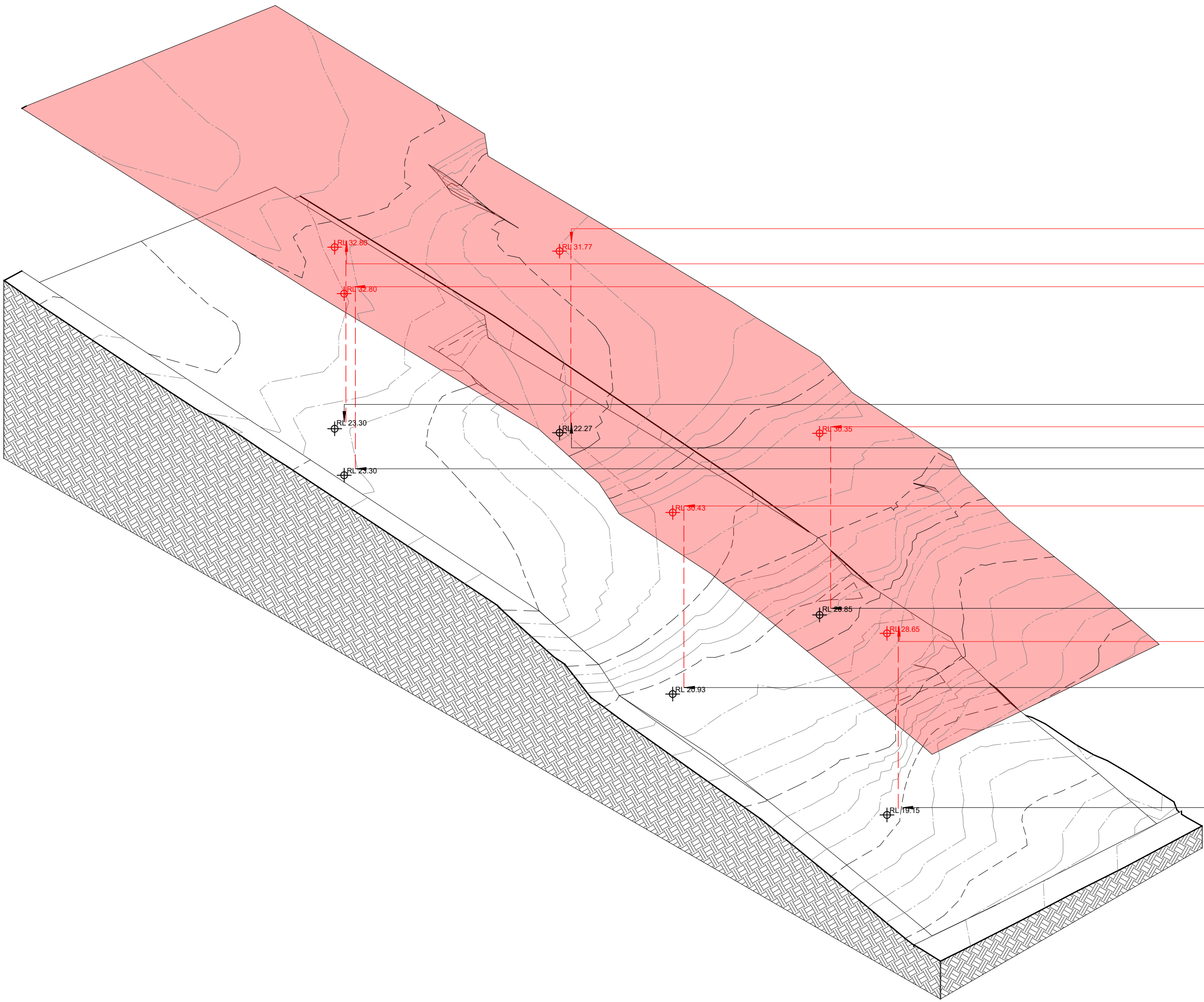


Overall Deep Soil Landscape Plan
1 : 200

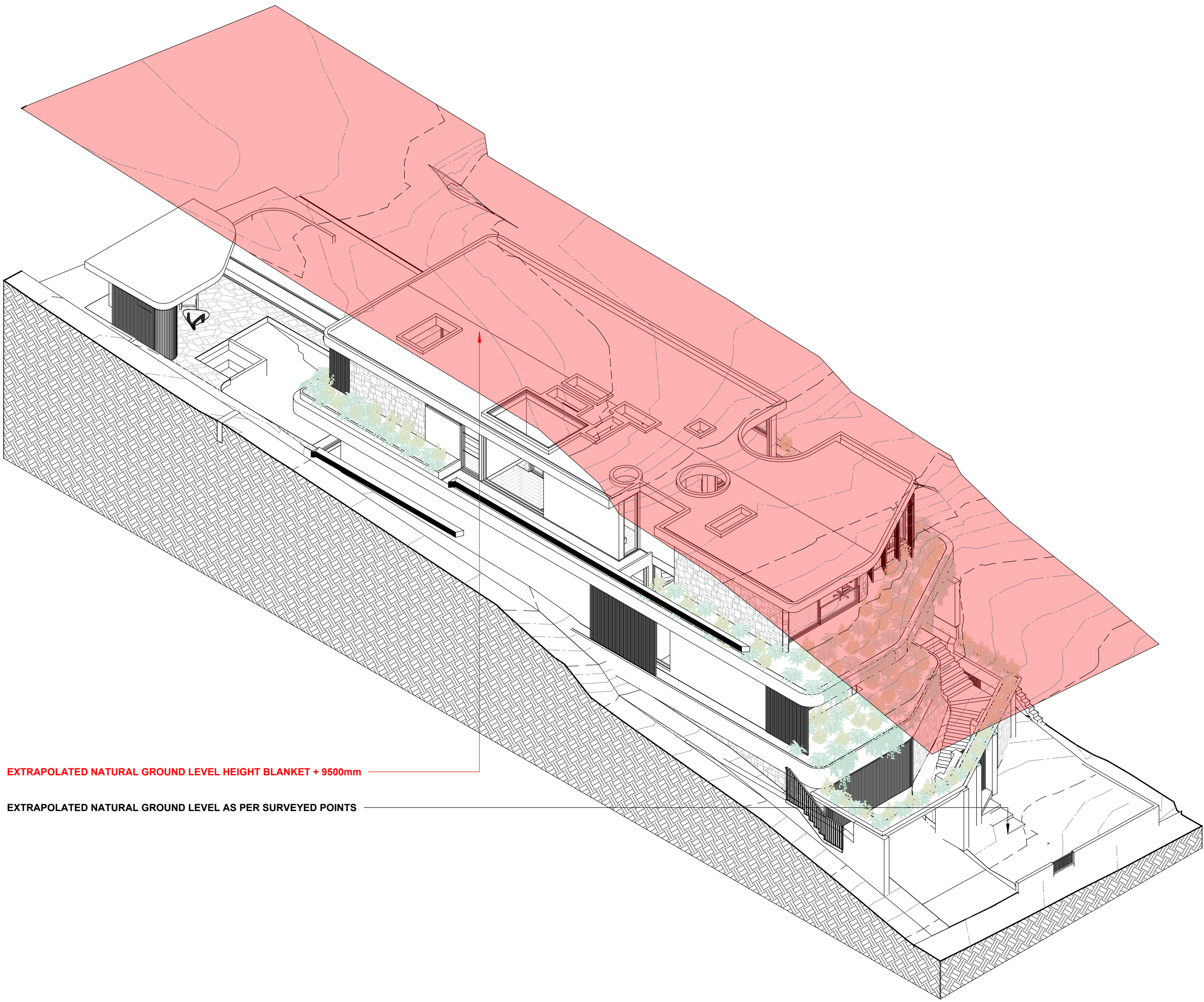
- Gross Building Area
- Deep Soil Landscape
- Existing Gross Floor Area
- Proposed New GFA
- Site Coverage

Area Schedule (GFA)			
Area	Name	Area Type	Level
258 m²	Site Coverage	Building Common Area	Ground Floor
9 m²	Site Coverage	Building Common Area	Ground Floor
267 m²			
71 m²	Deep Soil Landscape	Exterior Area	Ground Floor Front
40 m²	Deep Soil Landscape	Exterior Area	Ground Floor Front
8 m²	Deep Soil Landscape	Exterior Area	Ground Floor Front
9 m²	Deep Soil Landscape	Exterior Area	Ground Floor Front
128 m²			
183 m²	Proposed New GFA	Floor Area	Ground Floor Front
4 m²	Proposed New GFA	Floor Area	Ground Floor Front
175 m²	Proposed New GFA	Floor Area	First Floor
362 m²			

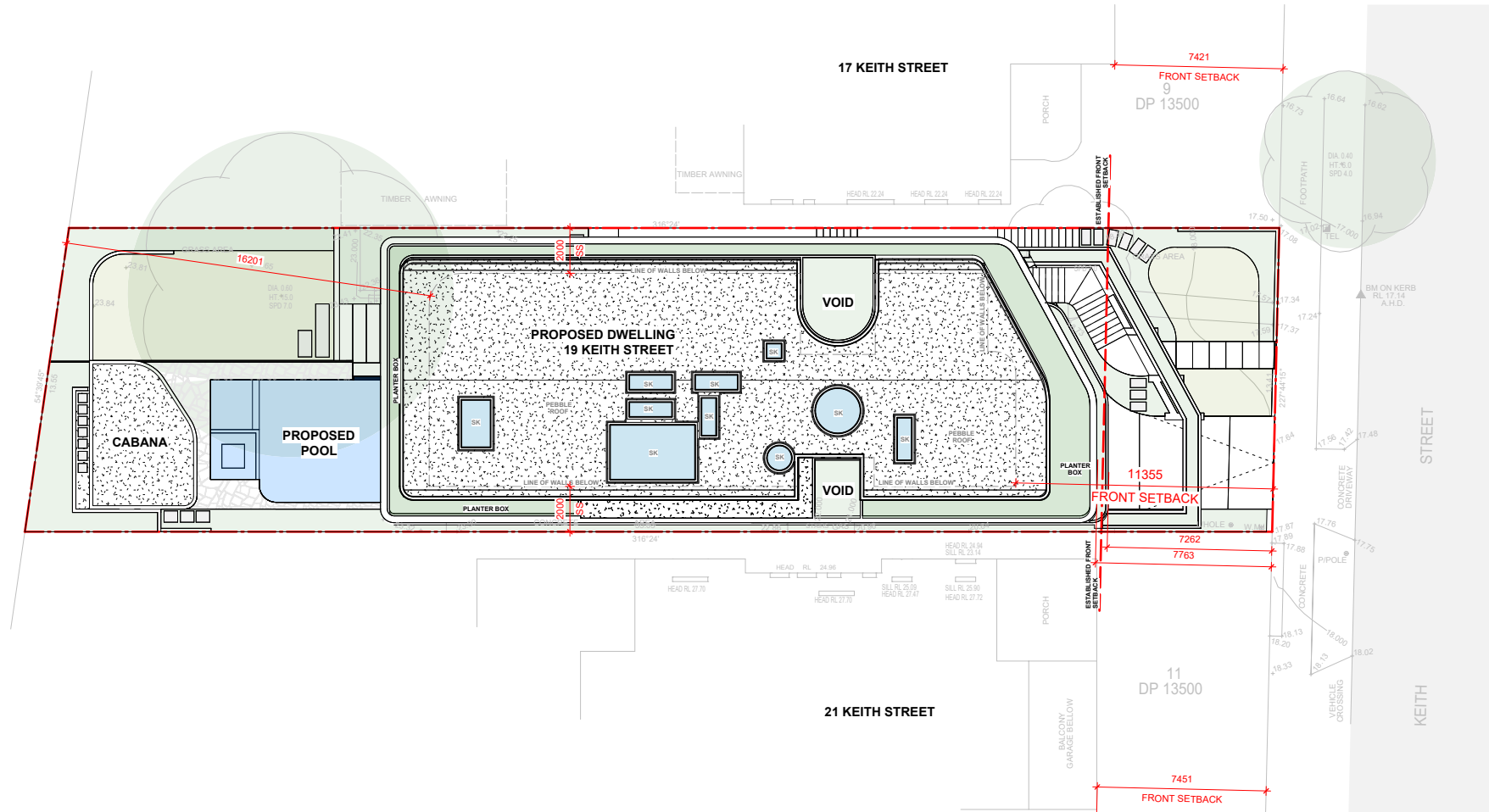
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Building Height Blanket



Building Height Blanket



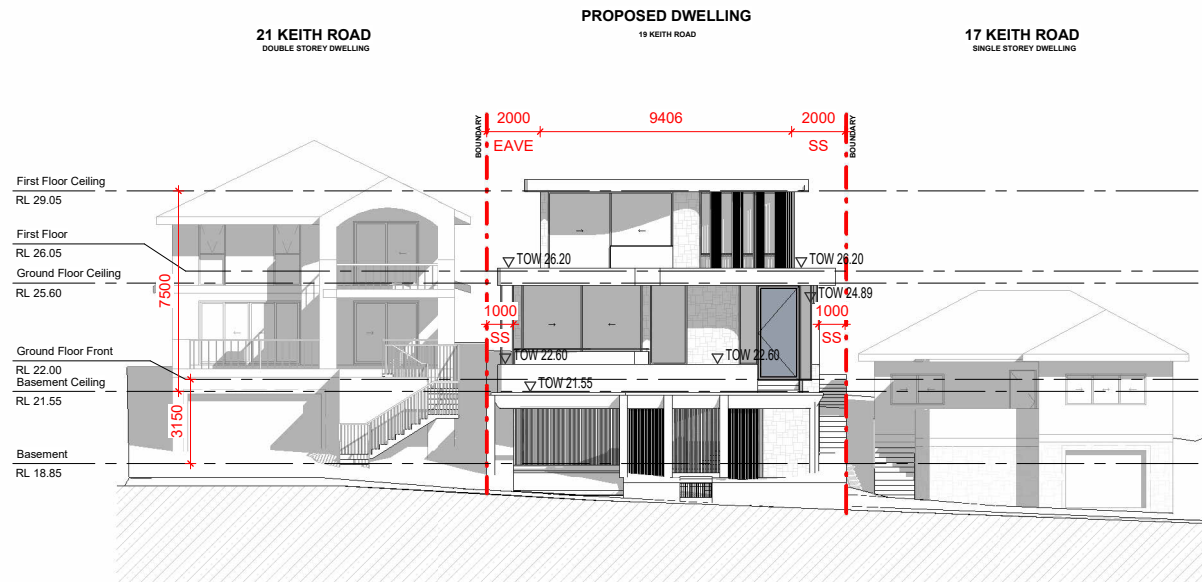
Site Plan - Notification
NTS

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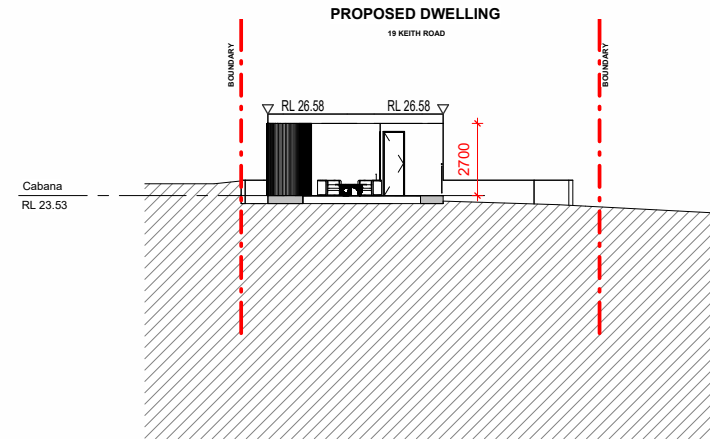
Project		Drawing Name	Date	Scale	Sheet Size	Job No.	Drawing No.	North Point	DO NOT SCALE FROM THESE DRAWINGS use given dimensions. Contractor/ Builder is to check all dimensions on site prior to commencement of shop drawings or fabrication. Any discrepancies are to be referred to the architect/ designer prior to commencement of work. This drawing is to be used in accordance with its "purpose of issue" only. No responsibility will be accepted for the improper use of this drawing. Architectural drawings indicate design intent only. Builder is to ensure that all construction is in accordance with all relevant Australian Standards, legislation, policies, Building Code of Australia, Development Consent and any other council or certifier's requirements. This set of drawings does not include all possible construction details and the builder is required to complete the design where the information is not available. Please contact the architect in case of doubt.	868 ARCHITECTS PTY LTD Nom. Arc. Robert Chapman-Malec Reg. No: 9315 0405 954 448 robert@868architects.com
NGUYEN RESIDENCE	19 KEITH STREET, EARLWOOD	Neighbour Notification - Site Plan	15/10/2024	NTS	@ A4	2401	A70			
			Drawn SS	Chk. RPCM	Revision / DA-1					

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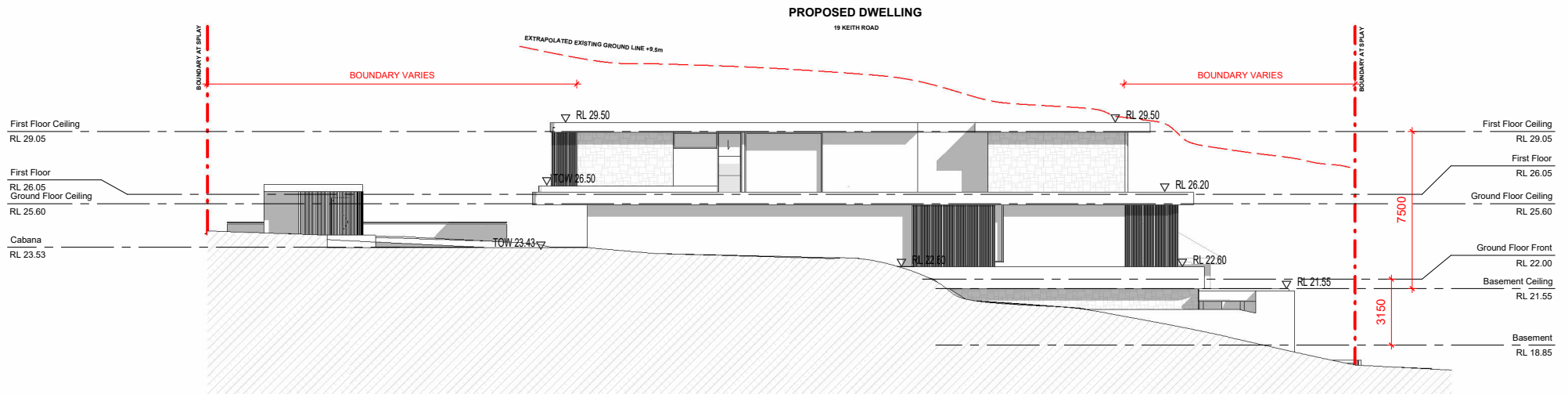
ARCHITECTS



South-East Elevation Notification
NTS



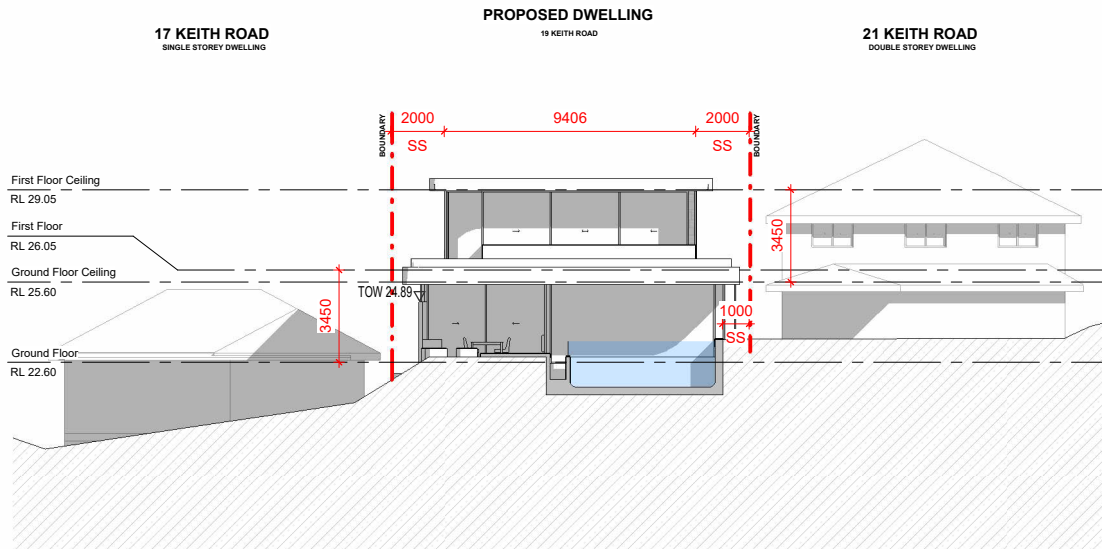
Cabana - South-East Elevation Notification
NTS



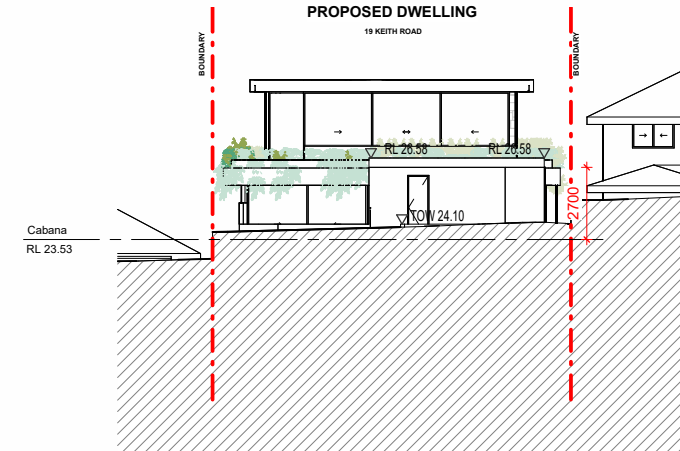
South-West Elevation Notification
NTS

DA DRAWINGS ONLY - NOT FOR CONSTRUCTION

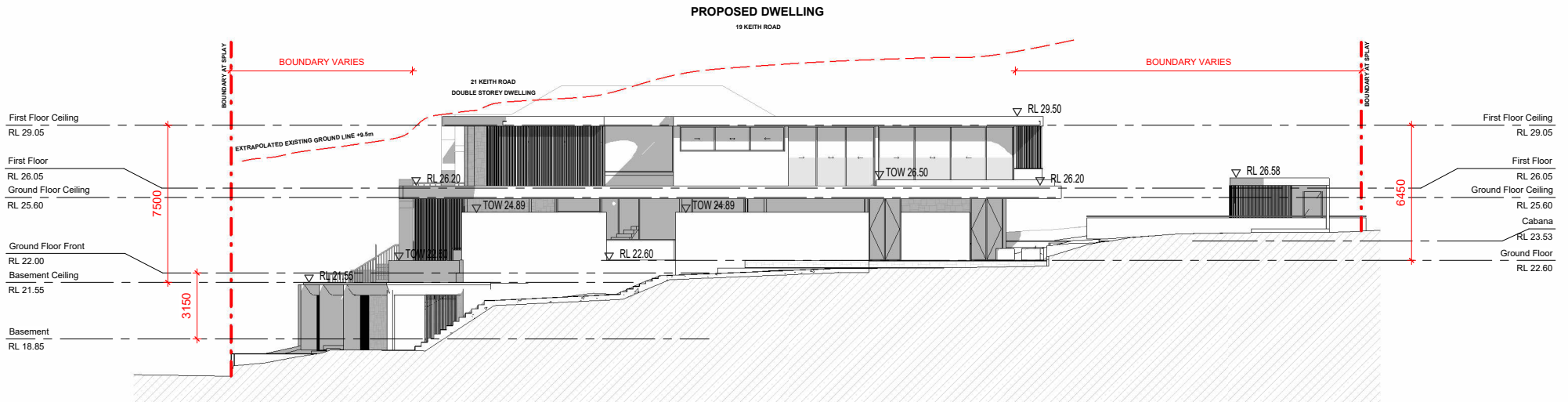
Project	Drawing Name	Date	Scale	Sheet Size	Job No.	Drawing No.	North Point	DO NOT SCALE FROM THESE DRAWINGS use given dimensions. Contractor/ Builder is to check all dimensions on site prior to commencement of shop drawings or fabrication. Any discrepancies are to be referred to the architect/ designer prior to commencement of work. This drawing is to be used in accordance with its "purpose of issue" only. No responsibility will be accepted for the improper use of this drawing. Architectural drawings indicate design intent only. Builder is to ensure that all construction is in accordance with all relevant Australian Standards, legislation, policies, Building Code of Australia, Development Consent and any other council or certifier's requirements. This set of drawings does not include all possible construction details and the builder is required to complete the design where the information is not available. Please contact the architect in case of doubt.	868 ARCHITECTS PTY LTD Nom. Arc. Robert Chapman-Malec Reg. No: 9315 0405 954 448 robert@868architects.com	868 ARCHITECTS
NGUYEN RESIDENCE	19 KEITH STREET, EARLWOOD	Neighbour Notification - Elevations	15/10/2024	NTS @ A4	2401	A71				
			Drawn SS	Chk. RPCM		Revision / DA-1				



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NGUYEN RESIDENCE	19 KEITH STREET, EARLWOOD	Neighbour Notification - Elevations	15/10/2024	NTS @ A4	2401	A73				
			Drawn SS	Chk. RPCM		Revision / DA-1				